



FOREST GROVE PLANNING COMMISSION MEETING
COMMUNITY AUDITORIUM, 1915 MAIN STREET
MONDAY JUNE 20, 2016-- 7:00 P.M.

PLANNING COMMISSION

Tom Beck, Chair

Lisa Nakajima
Carolyn Hymes
Dale Smith

Hugo Rojas
Phil Ruder, Vice Chair
Sebastian B. Lawler

The Planning Commission welcomes your attendance and participation. If you wish to speak on an agenda item, please feel free to do so. However, in fairness to others, we respectfully ask that you observe the following:

- * Please follow sign-in procedures on the table by the entrance to the auditorium.
- * Please state your name and address clearly for the record.
- * Groups or organizations are asked to designate one speaker in the interest of time and to avoid repetition.
- * When more than one citizen is heard on any matter, please keep your comments to five minutes and avoid repetition in your remarks. Careful attention to the previous speaker's points will help in this regard.
- * The Planning Commission carefully considers all the facts before a decision is made. Brief statements are most helpful in reaching a decision based on sound judgment.

Planning Commission meetings are electronically recorded and are handicap accessible. Assistive Listening Devices (ALD) or qualified sign language interpreters are available for persons with impaired hearing or speech. For any special accommodations, please contact the City Recorder at 503.992.3235, at least 48 hours prior to the meeting.

AGENDA

- (1.) Roll Call
- (2.) Public Meeting
 1. Public Comment Period for Non-Agenda Items
 2. **Public Hearing:**
 - A. **Site plan approval & design review of a proposed 28-unit apartment complex at 2024 Hawthorne St. (Tax lot # 1S306AB14100). File # 311-16-000039-PLNG.**
 3. Action Item: None Scheduled
 4. Work Session Items:
- (3) Business Meeting
 1. Approval of Minutes
 2. Reports from Commissioners/Subcommittees
 3. Director's Report
 4. Announce next meeting
 5. Adjourn

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Site Plan and Design Review Staff Report and Recommendation

Community Development Department, Planning Division

REPORT DATE: June 10, 2016

HEARING DATE: June 20, 2016

LAND USE REQUEST: Site plan approval and design review of a proposed 28-unit apartment complex

FILE NUMBER: 311-16-000039-PLNG

PROPERTY LOCATION: 2024 Hawthorne Street

LEGAL DESCRIPTION: Washington County Tax Lot 1S3 6AB-14100

OWNER/APPLICANT(S): Applicant: Ardor Consulting LLC (Greta Holmstrom)
1633 24th Avenue, Longview, Washington 98632
Property Owner: Henes Jackson Properties
PO Box 555, Banks, Oregon 97106

**COMPREHENSIVE PLAN
MAP AND ZONING MAP
DESIGNATIONS:** Community Commercial (CC)
Community Commercial (CC)

**APPLICABLE
STANDARDS
AND CRITERIA:** City of Forest Grove Development Code
 Section 10.3.300 - .340 *Commercial and Mixed Use Zones*
 Section 10.8.000 et. seq. *General Development Standards*

City of Forest Grove Design Guideline Handbook
 Focus Area III *Multi-Unit Residential Focus Area*

REVIEWING STAFF: James Reitz (AICP), Senior Planner

RECOMMENDATION: Staff recommends approval with conditions

I. LAND USE HISTORY

The project site has been vacant since at least the late 1980s. It was previously part of a larger parcel that extended the length of the block between Pacific and 21st Avenue. This 0.94-acre parcel was partitioned off in 2015.

DC Section 10.2.300 et. seq. *Design Review* requires review of new multi-family housing (defined as three or more units). That same section also requires that the Planning Commission review all projects with more than five units. The Commission can act on a request for design review after holding a public hearing pursuant to DC Section 10.1.600 et. seq. Type III Process.

The application was submitted on May 2, 2016. It was deemed complete on May 31, 2016.

Public notice for this application was mailed to property owners and residents within 300 feet of the site on May 27, 2016 as required by DC Section 10.1.610. Notice of this request was also provided to the Plans Review Board, and published in the *News Times*.

Comments received from the Plans Review Board pertain to complying with various standard building and fire code requirements that will be addressed through the building permit review process. Additional comments will be discussed later in this report, along with staff's recommendations for conditions of approval.

As of the writing of this report, no comments have been received from the public.

Note: This report addresses two concurrent review processes: site review and design review. Staff has examined the proposed site plan for compliance with the standards and specifications of Development Code Article 3 *Zoning Districts* and Article 8 *General Development Standards*. While the Commission's primary responsibility is to review the building and determine how well it complies with the provisions of Design Guideline Handbook *Multi-Unit Residential Focus Area*, it will also need to approve the site plan. Staff's analysis of how the application addresses the design guidelines is below, in Section II (O).

II. PROJECT DESCRIPTION AND ANALYSIS

1. Description of Proposal: The proposal would result in the construction of 28 apartment units in multiple buildings, and two 10-space garage buildings. Ten one-bedroom and eighteen two-bedroom units are proposed, along with a play area and surface parking. The site would be completely built-out with this project. The applicant intends to construct the project in a single phase.
2. Site Examination: The project site is somewhat "L"-shaped and is vacant, flat and grassy with a few scattered shrubs. The applicant received a permit to remove a number of poor-quality conifers and deciduous trees and has already done so. A large multi-trunked cedar tree remains and has been incorporated into the landscape plan.

Existing Comprehensive Plan Designation and Zoning of Site and Area

LOCATION	COMPREHENSIVE PLAN DESIGNATION	ZONE DISTRICT	LAND USE
Site	Community Commercial (CC)	Community Commercial (CC)	Apartment Complex
North	High Density Residential (HDR)	Residential Multi-Family High Density (RMH)	Senior Care Home
South	Community Commercial (CC)	Community Commercial (CC)	Veterinary Clinic, Barber
East	Community Commercial (CC)	Community Commercial (CC)	Office Complex, Single-Family Residential
West	Community Commercial (CC)	Community Commercial (CC)	Single-Family Residential and Vacant Lot

3. Site Design: The site plan consists of three apartment buildings and two garage buildings. The two larger apartment buildings would primarily face 21st Avenue and would be connected by a third-story roof structure, creating a breezeway. Within the breezeway area would be the water quality facility, bike rack, and a walkway connecting the sidewalk to the car park. The smallest apartment building would face Hawthorne Street, and would be located on the south side of the driveway. The two 10-space garage buildings would be located on the southern projection of the property, on either side of a central driveway. Surface parking would also be created in the interior of the lot, accessed by a driveway from Hawthorne Street. A play area is proposed adjacent to an existing cedar tree. The units would have walkway connections to the street and to the car park. Landscaping is proposed around all the buildings and between the buildings and the street.

4. Setbacks and Height Requirements:

- The site is located in the Community Commercial (CC) zone district. No front, side, or rear setbacks apply. The buildings fronting 21st Avenue are proposed to be between 10 feet and 10 feet 10 inches from the north property line, while the buildings along Hawthorne Street would be setback 10 feet. The apartment building on the south side of the driveway would be set back nearly 10 feet from the south property line, while the west apartment building would be set back over 6 feet from the west property line. The garage buildings would both be located approximately 10 feet from the south property line, and 6 feet from the side property lines.
- The height limit in the CC zone district is 45 feet. The height of the proposed apartment buildings would be 43 feet at the roof peak. The height of the garage buildings would be approximately 14 feet at the roof peak.

As there are no setbacks required in the CC zone district, and the building heights would be less than the maximum allowed, staff concludes that these provisions have been met.

5. Density: Site area is 0.94 acres (41,186 square feet). In the CC zone district, the minimum and maximum density is 16.22 to 30.00 DUA respectively. With 0.94 acres, the allowable density would be between 22 and 28 units. This application proposes 28 units. This criterion is satisfied.

6. Compatibility: The site abuts properties in a variety of uses (see Exhibit B for a vicinity and address map) -
- A six-foot-tall “good-neighbor” fence separates the site from the properties at 2620 21st Avenue, 2027 and 2021 Filbert Street to the west. The fence is in some disrepair, as evidenced by various sections that are no longer vertical. These properties have all been developed with single-family homes that were constructed in 1924, 1930 and 1936 respectively. They are not listed on the City’s Historic Register nor are they located within a designated historic district.
 - No fencing exists adjacent to 2018 Hawthorne Street. This site is developed with a single-family home that has also been used as an antique store and tea shop. The home was constructed in 1896 but it is not listed on the City’s Historic Register. Staff understands that the current owner intends to use the building exclusively as a single-family home.
 - No fencing exists adjacent to 2617 Pacific Avenue. This site is vacant.
 - No fencing exists adjacent to 2635 Pacific Avenue. This site has been developed with a veterinary clinic, barber shop and surface parking. The construction date of these buildings is not known.
 - The applicant proposes the construction of a six-foot-tall masonry wall along all interior property lines. In commercial zones, perimeter fences and walls can be up to eight feet tall (DC Section 10.7.045(A)). Staff has proposed a **condition** to require that the height not exceed 42 inches in the front yard areas, pursuant to DC Section 10.7.045(D). No wall or fencing is proposed along the front property lines.
 - Aside from a cedar tree and a few scattered shrubs and bushes, the site is virtually devoid of landscaping. Further discussion of the proposed landscaping follows in the *Open Space and Landscaping* section below.
 - Development of a vacant site with an apartment complex might result in off-site noise impacts. However, if any noise issues did arise, Municipal Code Section 5.250 et. seq. *Noise Regulations* would regulate the intensity of allowable noise in both daytime and evening hours. Section 5.254 *Maximum Permissible Sound Levels* caps the allowable volume in Noise Sensitive Areas (i.e., areas within residential and institutional zones) at 60 db during the daytime (7 a.m. to 10 p.m.) and 50 db at night (10 p.m. to 7 a.m.) Because the City has an existing ordinance in place to respond to potential noise complaints, staff concludes that there should be no significant neighborhood noise compatibility issues.
 - Only on-building lights are proposed. These lights would be on photo sensors, so would come on at dusk and remain on through the night. The applicant will be submitting a photometric analysis to demonstrate whether or not these lights would satisfy the provisions of DC Section 10.8.750(C)(3) *Pedestrian Lighting Standards*. To ensure compliance, staff has proposed a **condition** that lighting complies with the provisions of this section and DC Section 10.8.750(D) *Lighting Standards for Multi-Unit Development*.

Summary and conclusion: With the conditions noted above, the new apartment buildings would be compatible with the surrounding development.

7. Traffic and Circulation: The site would be served by a single driveway, taking access from Hawthorne Street. DC Section 10.8.120(C) regulates minimum driveway width for multi-family dwellings. The minimum width required is 20 feet for two-way traffic. In commercial zones the maximum allowable driveway width is 36 feet. The proposed driveway would be 23 feet wide, in compliance with both the minimum and maximum driveway widths.

According to the ITE *Trip Generation Report 8th Edition*, each apartment unit would generate 6.65 Average Daily Trips (ADT). With 28 units, 186.2 trips per day would be expected. This number might be reduced because the site is less than one block from Pacific Avenue, which means the residents would have access to regularly-scheduled transit service and thus might be driving less than the ITE report forecasts. In addition, the site would take access from a designated Collector street (Hawthorne Street), and would be an infill project whose traffic generation has already been anticipated in the most recent Transportation System Plan (TSP) update. Thus, because the site has access to transit, is located on a Collector street, and the anticipated traffic generation has already been accounted for in the TSP, no approval conditions appear necessary.

8. Sidewalks and Pedestrian Walkways:

- The sidewalks along both Hawthorne Street and 21st Avenue have been fully improved to City standards, with one exception: a new ADA-compliant curb ramp is needed at the intersection. Staff has included a **condition** to require the installation of this ramp.
- Concrete pedestrian walkways are proposed to connect all the units with the car park, garages, and play area. Those units fronting 21st Avenue would also have direct walkway connections to the 21st Avenue sidewalk, while the units fronting Hawthorne Street would have direct walkway connections to that public sidewalk. DC Section 10.8.115(4) requires a minimum walkway width of four feet. The proposed walkways would be five feet wide. Staff has included a **condition** to require a minimum 6 ½-foot-width for walkways adjacent to the parking stalls. The additional width would allow for vehicle overhang, and would eliminate the need for wheel stops, which can be a tripping hazard and a barrier to mechanized parking area cleaning equipment. As the parking stalls as proposed would be 19 feet long, shortening them by 1 ½ feet would not compromise their functionality. In fact, the curb/wheel stop could be at the 16 ½-foot mark, and still function as a full-sized space.

Summary and conclusion: With the conditions noted above, pedestrian access requirements would be met.

9. Parking: DC Section 10.8.515 Table 8-5 *Parking Requirements* regulates the minimum number of parking stalls required (there are no maximums for residential uses). For multi-family housing, 1.25 spaces are required for each 1-bedroom unit, and 1.50 spaces for each 2-bedroom unit. Proposed are 10 1-bedroom units and 18 2-bedroom units.

10 1-bedroom units	1.25 spaces/unit	12.50 spaces required
<u>18 2-bedroom units</u>	1.50 spaces/unit	<u>27.00 spaces required</u>
28 units total		39.50 spaces required.

There are 36 parking spaces proposed on-site: 20 enclosed garage spaces (including one ADA accessible garage); and 16 surface spaces (including one ADA accessible space). Eleven on-street spaces would be available adjacent to the site. DC Section 10.8.510(H) states that "Parking spaces available along the public street frontage or alleys are eligible in fulfilling parking requirements, except for single family dwellings and duplexes." Including the on-street spaces, 47 parking stalls would be available overall, which would exceed the minimum number of spaces required.

10. Environmental Quality: There is no City record of any prominent environmental conditions. Runoff from new impervious surfaces would be treated in the on-site water quality facility. Additional landscaping is proposed to be installed (see below) that may improve air quality and reduce glare and heat.
11. Open Space and Landscaping: DC Section 10.8.205 requires that all multi-family dwellings with 20 or more units provide a children's play area, surrounded by a fence at least 30 inches high. Because this complex would have 28 units, these provisions would apply.

A fenced outdoor play area of approximately 3,100 square feet is proposed west of the south building, adjacent to the cedar tree. It would be visible from most of the units in the complex. A pergola with seating is proposed, while the rest of the area would be improved with turf, shrubs and two deciduous trees. No play equipment is proposed.

As is noted in (12) below, Bard Park is located approximately 1,200 feet (1/4-mile) distant. It has been improved with a play structure including slides and swings, a ball court, a picnic shelter and tables, a walking path, benches, lawn and trees. Because those improvements are located within walking distance of the project site, staff is not proposing any additional play area improvements on this site.

Proposed landscaping would be varied and extensive, including turf, kinnikinnik (a groundcover), deciduous trees including flowering redbuds and Japanese snowbells, various shrubs, and arborvitae. As noted previously, the large cedar tree would remain. Also proposed are ten Wireless Zelkova street trees, along both frontages. This variety is characterized by a broadly spreading crown and reaches an overall height of about 24 feet with a spread of about 36 feet. As suggested by the name, it is appropriate for installation under power lines, but at its extreme, the branches would be very close to the building. Because the parkways adjacent to the site do not have overhead utility lines, a taller, narrower variety of street tree would be more appropriate. A spread of about 30 feet would provide a sufficient crown area without encroaching on the buildings. Several possible selections from the City's *Suggested Street Tree Planting List* include various maples, Sargent cherry, columnar European hornbeam, various beeches, tulip tree, and various locusts. Staff would further suggest at least two varieties be required, to provide more visual interest. Staff has proposed a **condition** incorporating the above suggestions.

12. Public Services: The application has been reviewed by the Engineering, Fire, Light and Power, Police, and Public Works departments. All departments have indicated that existing public utilities to serve the site are adequate and do not need to be upgraded, with the exception of storm drainage. Specific comments included:
 - Storm Drainage: The Engineering Department has noted that a City-standard public storm drainage system does not exist in either the Hawthorne Street or 21st Avenue rights-of-way. The applicant's civil engineer is examining the feasibility of a system that would include on-site retention and the construction of a new storm line in Hawthorne Street to tie in with the existing storm drainage system near 22nd Avenue, approximately 900 feet north of the site.

Staff has proposed a **condition** to require the construction of a system in compliance with the storm water master plan. The design of this system will need to be reviewed and approved by the Engineering Department prior to building permit approval for the apartment buildings.

In addition, the applicant shall be conditioned to provide to the City a signed *Private Water Quality Facility Maintenance Agreement* for the private water quality facility. Clean Water Services and its member Cities have initiated a program to regularly inspect and support maintenance of privately owned water quality facilities. Staff has proposed a **condition** to ensure this document is submitted.

- Fire Department Review: The department noted two approval conditions -
 - All unit numbers need to be at least six inches in height and contrast with their background. The address shall also be posted on the entry sign.
 - The drive aisle shall be posted as a “No Parking – Fire Lane”.

Both conditions will be attached to the building permit.

- Parks: The nearest City park is Bard Park at 2921 22nd Avenue. It is located approximately 1,200 feet (1/4-mile) distant from the project site. It has been improved with a play structure including slides and swings, a ball court, a picnic shelter and tables, a walking path, benches, lawn and trees.

A fenced outdoor play area of approximately 3,100 square feet is proposed west of the south building, adjacent to the cedar tree. It would be visible from most of the units in the complex. A pergola with seating is proposed, while the rest of the area would be improved with turf, shrubs and a couple deciduous trees. No play equipment is proposed.

- Other Public Services – Police services are available and are adequate to serve the proposed use.

13. Site Development Approval Criteria: DC Section 10.2.450 *Site Development Review Criteria* are as follows:

The Planning Commission shall review and approve, conditionally approve, or deny the site development plan based on the following criteria:

- A. The site development plan complies with all applicable standards of the base zoning district, any overlay district, and the applicable general development standards of Article 8.

Finding: The site is located in the Community Commercial (CC) zone district. No front, side, or rear setbacks apply. The buildings fronting 21st Avenue are proposed to be between 10 feet and 10 feet 10 inches from the north property line, while the buildings along Hawthorne Street would be setback 10 feet. The apartment building on the south side of the driveway would be set back nearly 10 feet from the south property line, while the west apartment building would be set back over 6 feet from the west property line. The garage buildings would both be located approximately 10 feet from the south property line, and 6 feet from the side property lines.

Finding: The height limit in the CC zone district is 45 feet. The height of the proposed apartment buildings would be 43 feet at the roof peak. The height of the garage buildings would be approximately 14 feet at the roof peak.

Finding: Site area is 0.94 acres (41,186 square feet). In the CC zone district, the minimum and maximum density is 16.22 to 30.00 DUA respectively. With 0.94 acres, the allowable density would be between 22 and 28 units. This application proposes 28 units.

Finding: The site would be served by a single driveway, taking access from Hawthorne Street, a designated Collector street. DC Section 10.8.120(C) regulates minimum driveway width for multi-family dwellings. The minimum width required is 20 feet for two-way traffic. In commercial zones the maximum allowable driveway width is 36 feet. The proposed driveway would be 23 feet wide, in compliance with both the minimum and maximum driveway widths.

Finding: DC Section 10.8.515 Table 8-5 *Parking Requirements* regulates the minimum number of parking stalls required (there are no maximums for residential uses). For multi-family housing, 1.25 spaces are required for each 1-bedroom unit, and 1.50 spaces for each 2-bedroom unit. Proposed are 10 1-bedroom units and 18 2-bedroom units.

10 1-bedroom units	1.25 spaces/unit	12.50 spaces required
<u>18 2-bedroom units</u>	1.50 spaces/unit	<u>27.00 spaces required</u>
28 units total		39.50 spaces required.

There are 36 parking spaces proposed on-site: 20 enclosed garage spaces (including one ADA accessible garage); and 16 surface spaces (including one ADA accessible space). Eleven on-street spaces would be available adjacent to the site. DC Section 10.8.510(H) states that "Parking spaces available along the public street frontage or alleys are eligible in fulfilling parking requirements, except for single family dwellings and duplexes."

Including the on-street spaces, 47 parking stalls would be available overall. This number exceeds the minimum number of spaces required.

Summary and Conclusion: As the proposed density, setbacks, building heights, access and parking would meet or exceed Development Code standards, staff concludes that these provisions have been met.

- B. The site development plan ensures reasonable compatibility with surrounding uses as it relates to the following factors:
1. Building mass and scale do not result in substantial visual and privacy impacts to nearby residential properties; and

Finding: The site is located in the Community Commercial (CC) zone district; all adjacent properties share this zone. No front, side, or rear setbacks apply. The buildings fronting 21st Avenue are proposed to be between 10 feet and 10 feet 10 inches from the north property line, while the buildings along Hawthorne Street would be setback 10 feet. The apartment building on the south side of the driveway would be set back nearly 10 feet from the south property line, while the west apartment building would be set back over 6 feet from the west property line. The garage buildings would both be located

approximately 10 feet from the south property line, and 6 feet from the side property lines.

Finding: The applicant proposes the construction of a six-foot-tall masonry wall along all interior property lines (i.e. not along the street). Staff has proposed a **condition** to require that the height not exceed 42 inches in the front yard areas, pursuant to DC Section 10.7.045(D). No wall or fencing is proposed along the front property lines.

Finding: The height limit in the CC zone district is 45 feet. The height of the proposed apartment buildings would be 43 feet at the roof peak. The height of the garage buildings would be approximately 14 feet at the roof peak. Adjacent residential buildings do not exceed two stories in height.

Finding: The rear yard of 2620 21st Avenue would be visible from the west apartment building. The applicant proposes to construct a six-foot-tall masonry wall along the common property line. Within the six-foot-wide setback area between the wall and the building, the applicant proposes to install three Japanese snowbell trees and two arborvitae trees. Japanese snowbells have a typical height and spread of 25 and 20 feet respectively, while the arborvitae can range in height from 20 to 40 feet with a spread of 10 to 15 feet. Properly spaced and maintained, the snowbells and arborvitae can provide an effective visual screen. They would not prevent views into the rear yard of 2620 21st Avenue, but they would obscure it.

Finding: The rear yards of 2021 and 2027 Filbert Street would abut the project's surface parking area and west garage. The applicant proposes to construct a six-foot-tall masonry wall along the common property line. Because the proposed masonry wall would block visibility into the rear yards of 2021 and 2027 Filbert Street, no conditions of approval to ensure compatibility appear necessary.

Finding: The south apartment building would face Hawthorne Street, as does the home at 2018 Hawthorne Street. The rear yards of both buildings would be abutting. To the north of 2018 Hawthorne Street, the abutting area would be landscaped with an existing large cedar tree and play area. To the west of 2018 Hawthorne Street would be a one-story garage building, beyond a six-foot-tall masonry wall. Because the apartment building would not directly overlook the rear yard of 2018 Hawthorne Street, and the two sites would be separated by a six-foot-tall masonry wall, no conditions of approval to ensure compatibility appear necessary.

Finding: The proposed trash and recycling enclosure would be located between the west apartment building and the west garage building, near the property line separating 2620 21st Avenue from 2027 Filbert Street. The design appears to comply with the provisions of DC Section 10.7.205 et. seq. *Solid Waste Recycling and Storage*. Because the trash enclosure would comply with the provisions of DC Section 10.7.205 and would also be separated from the adjoining properties by a six-foot-tall masonry wall, no conditions of approval to ensure compatibility appear necessary.

Summary and Conclusion: While the proposed apartment buildings would be taller than the adjoining residential uses, they would be separated by a six-foot-tall masonry wall. Furthermore, landscaping would be installed to provide

additional visual screening. Thus, there should not be any substantial visual or privacy impacts on nearby residential properties.

2. Proposed structures, parking lots, outdoor use areas or other site improvements that could cause substantial off-site impacts such as noise, glare and odors are oriented away from nearby residential uses and/or adequately mitigated through other design techniques.

Finding: As a residential project, off-site noise impacts are not anticipated. However, should noise become a complaint issue, the City does have in place a noise control ordinance that could be used to abate the nuisance.

Finding: The proposed trash and recycling enclosure would be located between the west apartment building and the west garage building, near the property line separating 2620 21st Avenue from 2027 Filbert Street. The design appears to comply with the provisions of DC Section 10.7.205 et. seq. *Solid Waste Recycling and Storage*. Because the trash enclosure would comply with the provisions of DC Section 10.7.250 and would also be separated from the adjoining properties by a six-foot-tall masonry wall, no conditions of approval to ensure compatibility appear necessary.

Finding: The trash enclosure would be located approximately 40 feet from the nearest house at 2620 21st Avenue and would be regularly serviced, thus minimizing the potential for odors. In addition, it would be screened from view by a six-foot-tall masonry wall.

Finding: Only on-building lights are proposed. The applicant will be submitting a photometric analysis to demonstrate whether or not the provisions of DC Section 10.8.755(C) have been met. To ensure compliance, staff has proposed a **condition** that lighting complies with the provisions of this section and Section 10.8.755(D).

Summary and Conclusion: With the conditions to reduce the wall height in the front yard area, and install (if necessary) lighting to comply with the provisions of DC Sections 10.8.750(C) and D), no visual, privacy, noise, glare or odor impacts are anticipated as a result of this project.

- C. The site development plan preserves or adequately mitigates impacts to unique or distinctive natural features including, but not limited to:
 1. Significant on-site vegetation and trees;
 2. Prominent topographic features; and
 3. Sensitive natural resource areas such as wetlands, creek corridors and riparian areas.

Finding: No sensitive natural resource areas or prominent topographic features exist on the site. Several poor-quality conifers and deciduous trees were already removed. One large multi-trunked cedar tree remains and will be preserved. With the **condition** to create a protection zone around all on-site and adjacent off-site trees during construction, this criterion is satisfied.

- D. The site development plan preserves or adequately mitigates impacts to designated historic resources.

Finding: No designated historic resources are present on or adjacent to the site. This criterion does not apply.

- E. The site development plan provides adequate right-of-way and improvements to abutting streets to meet the street standards of the City. This may include, but not be limited to, improvements to the right-of-way, sidewalks, bikeways, and other facilities needed because of anticipated vehicular and pedestrian traffic generation.

Finding: Both the Hawthorne Street and 21st Avenue right-of-way have been fully improved to City standards, with one exception: no ADA accessible sidewalk curb ramp exists at the intersection. With the **condition** to install this ramp, this criterion is satisfied.

- F. The site development plan promotes safe, attractive and usable pedestrian facilities that connect building entrances, public sidewalks, bicycle and auto parking spaces, transit facilities, and other parts of a site or abutting properties that may attract pedestrians.

Finding: DC Section 10.8.115(4) requires a minimum walkway width of four feet. Concrete pedestrian walkways are proposed to connect each unit to the car park and public sidewalk. Additional walkways would connect to the play area, trash enclosure, and garages. The bicycle parking area would be located under the breezeway, along the walkway connecting the 21st Avenue sidewalk to the car park. All walkways would be at least five feet wide. This criterion is met.

- O. Design Review Criteria: Projects subject to design review by the Director (Type II) or the Design Review Commission (Type III) shall be evaluated based on the following:
- A. The development standards of the applicable zoning district and any overlay district;
 - B. The general development standards of Article 8.
 - C. Departures from code requirements may be permitted as part of a Track 2 Design Review Process, when the following criteria are met:
 - 1. The design guidelines contained in the applicable section of the "Design Guideline Handbook" are adequately addressed.
 - 2. The applicant demonstrates that the overall development would result in a development that better meets the intent of the design guidelines than a design that simply meets the Code.

The Design Guideline Handbook Section III *Multi-Unit Residential Design Guidelines* has two options for design review: Track 1 *Development Standards* and Track 2 *Design Guidelines*. The following analyzes the application compared to Track 1 standards unless otherwise noted.

Site – Circulation

- *Continuous pedestrian connections required* – Complies. Pathways are proposed that would connect the buildings, car park, play area, garages, bicycle parking area, and the public sidewalk.
- *Pathways at least 10 feet from dwellings* – Complies. All proposed pathways have been sited to be at least 10 feet from any dwelling unit.

- The *minimum pathway width of 5 feet* – Complies. All proposed pathways would be at least five in width.

Site – Parking

- *Include 18-foot-wide landscape planter bays in parking areas > 10,000 square feet* – The proposed car park and aisles would exceed 10,000 square feet in area, therefore, this provision applies. While not intended to address this criterion, the proposed play area and landscaping around the existing cedar tree would function to break up the expanse of pavement. This area measures approximately 72 feet by 45 feet, which would well exceed the stipulated 18-foot-wide requirement.
- *Sidewalk system shall connect all front doors to the car park* – Complies. Walkways are provided throughout the site with multiple connections to the car park.

Site – Pedestrian Environment

- *Residential front doors shall be setback at least 2 feet from the public sidewalk* – Complies. The buildings would all be located at least ten feet from the public sidewalk.
- *Primary entrance doors shall not be sliding glass, or solid metal without glazing* – Complies. Entry doors will be standard doors with glass.
- *Residential porch height < 4 feet* – Complies, as no porches are proposed.
- *Residences with entry porches: porches shall be not be less than 40 square feet* – Complies. Entry areas are at least 48 square feet in area.
- *Residences shall not be < 4 feet below grade* – Complies, as the new buildings will be erected at grade.

Site – Screening / Service Areas

- *All mechanical equipment shall be screened* – Complies. The apartment units will have standard residential-sized appliances located inside. Additional mechanical equipment will be located in the building attics.
- *Service / refuse collection areas shall be not < 20 feet from the right-of-way* – Complies. The refuse collection area is proposed to be located more than 100 feet from the 21st Avenue right-of-way.
- *Refuse collection area to be screened from above* – Complies. The refuse collection area would be screened by a trellis structure, similar to the proposed pergola next to the play area.
- *All rooftop mechanical equipment shall be screened* – None proposed; not applicable.

Site – Landscaping

- At least 75% of required landscaped areas shall be planted; at most 25% of required landscaped areas shall be hardscaped* – Complies. The site totals 0.94 acres (41,186 square feet). DC Section 10.8.205(D)(1) requires that 20% (8,238 square feet) of the lot – excluding the car park and driveways – be maintained as open space. The applicant proposes to set aside 39.5% of the site (approximately 16,270 square feet) as yard and open space, including a 3,100-square-foot play area. At 16,270 square feet, this landscaping area is nearly double that required. Landscaping would include deciduous and conifer trees, shrubs, groundcover, and turf.
- *Buffering and Screening* – Not required, as both the development site and the adjoining properties are located in the same (Community Commercial) zone.

Site – Crime Prevention Through Environmental Design

- *Plant materials by entries shall be < 5 feet in height by the entry* - Complies. Various shrubs are proposed near the entries, including spirea and andromeda, which can be kept pruned to a height of five feet and less.
- *Window areas facing common spaces, paths, and parking areas shall be at least 25 square feet each* – Individual window units would be 48 inches by 60 inches, (4 by 5 feet), for a total area of 20 square feet each. While less than 25 square feet each, there would be 26 of them overall facing the car park and play area. Given the multiplicity of windows facing the common spaces, staff concludes that the intent of this criterion is satisfied.
- *Entries shall be lighted* – Complies; all entries would be illuminated with one or two wall sconces.
- *Gated residential areas are prohibited* – None proposed; complies.
- *Motion-activated lighting by the street is prohibited* – None proposed; complies.

Site – Open Space

- *At least 25% of the lot (excluding parking areas) shall be landscaped* – Complies. The site totals 0.94 acres (41,186 square feet). DC Section 10.8.205(D)(1) requires that 20% (8,238 square feet) of the lot – excluding the car park and driveways – be maintained as open space. The applicant proposes to set aside 39.5% of the site (approximately 16,270 square feet) as yard and open space, including a 3,100-square-foot play area. At 16,270 square feet, this landscaping area is nearly double that required. Landscaping would include deciduous and conifer trees, shrubs, groundcover, and turf.
- *Apartment complexes with six units or more shall provide 100 square feet of recreation space per unit* – No specific Development Code section includes this provision. With 28 units, 2,800 square feet of play area would be necessary. The proposed play area would have about 3,100 square feet, which would comply with this guideline.
- *Apartment complexes with 21 or more units shall have a children's play area* – Complies - One play area is proposed.
- *At least 50 square feet of private open space shall be provided per unit* – Complies; each unit would have a patio or deck of at least 50 square feet.
- *Private open space shall be separated from common open space with landscaping, fencing, or grade changes (including balconies)* – Complies. The patios and decks would be separated from the common areas by railings.

Building – Massing and Form

- *Building dimensions > 150 feet shall have a minimum 3-foot off-set* – Complies. The north building would be about 186 feet in length. It would actually be two buildings 25 feet apart, joined together by a breezeway. In addition, each of the five entries facing 21st Avenue would be inset five feet, and the center third of the east building would be setback four feet.
- *Every two dwelling units shall be off-set from the next by at least 4 feet* – Complies. The center third of the east building would be setback four feet from the units at either end. The other buildings do not have multiple dwelling units along a single plane.
- *All habitable rooms shall have a window facing the car park and common areas* – Complies. Windows would face both the car park and the common areas.

Building – Compatibility

- *All buildings shall have a defined entry space of at least 16 square feet* – Complies. Entry spaces would be at least 50 square feet.

Building – Safety

- *Line-of-sight shall be maintained between the building entries and the sidewalk or car park – Complies.*

Building – Privacy

- *Building entries shall be at least 3 feet from sidewalks and walkways – Complies. The distance from all entries to any sidewalk or walkway would be at least ten feet.*
- *Bedroom and bathroom windows shall be off-set at least 4 feet from windows on adjacent buildings (unless privacy glazing is used) – Complies. None of the bathrooms would be situated to align with adjacent unit windows.*

Site – Lighting

- *All unit entries and walkways shall be lighted – Complies; all entry areas will be lit with wall sconces.*
- *Light poles shall not exceed 18 feet in height – required by DC Section 10.8.750(D) Lighting Standards for Multi-Unit Development. No new light poles are proposed, but may be necessary to comply with this section. Staff has proposed a condition to require that site lighting comply with the provisions of DC Sections 10.8.750(C) and (D).*
- *Concrete bases shall not exceed 8 inches in height – required by DC Section 10.8.750(D). No new light poles are proposed. As above, staff is proposing a condition to require compliance with this section.*
- *Cut-off shields shall be installed – required by DC Section 10.8.750(D). No new light poles are proposed. As above, staff is proposing a condition to require compliance with this section.*
- *Plastic interior-lighted signs are prohibited – Complies, as none are proposed.*

Signs –

- *Residential nameplates allowed – None proposed. The site would be identified with a structure at the Hawthorne Street driveway. This sign structure would include the name and address of the complex.*

Summary and Conclusions: The design guidelines have been addressed by the application as follows:

- 1) The facades of the new buildings include building overhangs, balconies and gables, all of which will serve to provide relief and shadow patterns.
- 2) The buildings would be two and half stories in height with steep gable roofs. Building projections and recesses are incorporated.
- 3) Exterior building materials would include vertical and shingle siding, along with trim boards. Street-facing facades would be further enhanced with cultured stone.
- 4) Proposed window designs would be coordinated with the building's architecture and would be sufficient in number to ensure ample visibility of the common areas.

Staff concludes that the overall intent of this section has been met.

III. ALTERNATIVES

The Planning Commission may approve as submitted, approve with conditions, continue deliberations to a date certain, or deny this request.

IV. RECOMMENDATION

Based on the information provided in the application and the findings above, staff recommends approval of the application for site design and design review for the proposed Cedar Manor Apartments, with the following conditions:

GENERAL

1. The applicant is bound to the project description and all representations made by the applicant during the application and decision-making proceeding.
2. The applicant must comply with all applicable City building and development standards, including all dimensional standards and public works specifications.
3. All utility connections shall be underground (DC Section 10.8.645(A) *Underground Utilities*).

LANDSCAPING

4. Perimeter wall height shall not exceed 42 inches in the front yard areas.

SIDEWALKS AND WALKWAYS

5. Construct an ADA-compliant curb ramp at the Hawthorne Street/21st Avenue intersection adjacent to the site.
6. Walkways adjacent to the car park shall be at least 6 ½ feet wide, to allow for vehicle overhang. No additional curb stops shall be required.

LIGHTING

7. The lighting plan shall comply with the provisions of DC Section 10.8.755(C) *Pedestrian Lighting Standards* and Section 10.8.755(D) *Lighting Standards for Multi-Unit Development*.

TREES

8. Parkway trees shall have a mature height of not less than 35 feet and a spread of not more than 30 feet. At least two varieties shall be required. The varieties shall be approved by the Community Development Director prior to installation. Spacing shall comply with DC Section 10.5.120(4) *Size and Spacing of Street Trees*.
9. A tree protection plan for on-site trees and off-site trees near common property lines shall be submitted and shall include the precise location and specifications of protective fencing. No compaction equipment or material storage shall be permitted within tree protection areas. This plan shall be approved by the Community Development Director prior to building permit issuance.

STORM DRAINAGE / WATER QUALITY

10. The applicant shall submit a storm water drainage plan to satisfy the provisions of the City's *Storm Water Master Plan* and Clean Water Services' *Design and Construction Standards for Sanitary Sewer and Surface Water Management*. This plan shall be reviewed and approved by the City's Engineering Department prior to building permit approval.
11. The applicant shall provide to the City of Forest Grove a signed *Private Water Quality Facility Maintenance Agreement* for the private water quality facility.

V. LIST OF EXHIBITS

The following exhibits were received, marked, and entered into the record as evidence for this application at the time this staff report was written. Exhibits received after the date of this report will be marked beginning with the next consecutive letter and will be entered into the record at the time the public hearing is opened, prior to oral testimony.

Exhibit A Site Plan and Design Review application materials, submitted by the applicant

Exhibit B Vicinity Map with Addresses, from the Washington County GIS website

EXHIBIT A

Site Plan and Design Review Application Materials

CEDAR MANOR

NEW APARTMENT COMPLEX



04-28-16 160631 DRO
 DRAWN BY: NV
 CHECKED BY: DC
 TAX MAP & LOT: 1S306AB14100

0'-3"
 Line is 3 inches at full scale
 (if not 3 inches then scale accordingly)

PREPARED FOR:
 GREG HENES
 13981 N MAIN STREET, BANKS,
 OR 97106

NEW APARTMENTS

CEDAR MANOR
 HAWTHORNE ST. & 21ST AVE.
 FOREST GROVE, OR 97116



KERRY W. VANDERZANDEN
 ARCHITECT, P.C.
 13981 N. MAIN STREET
 BANKS, OREGON 97106
 (503) 319-7666 / (503) 324-0883 FAX

REVISIONS:

No.	Date	Description

PROJECT NUMBER: 160631
 DATE: 04-28-16

DESIGN REVIEW

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

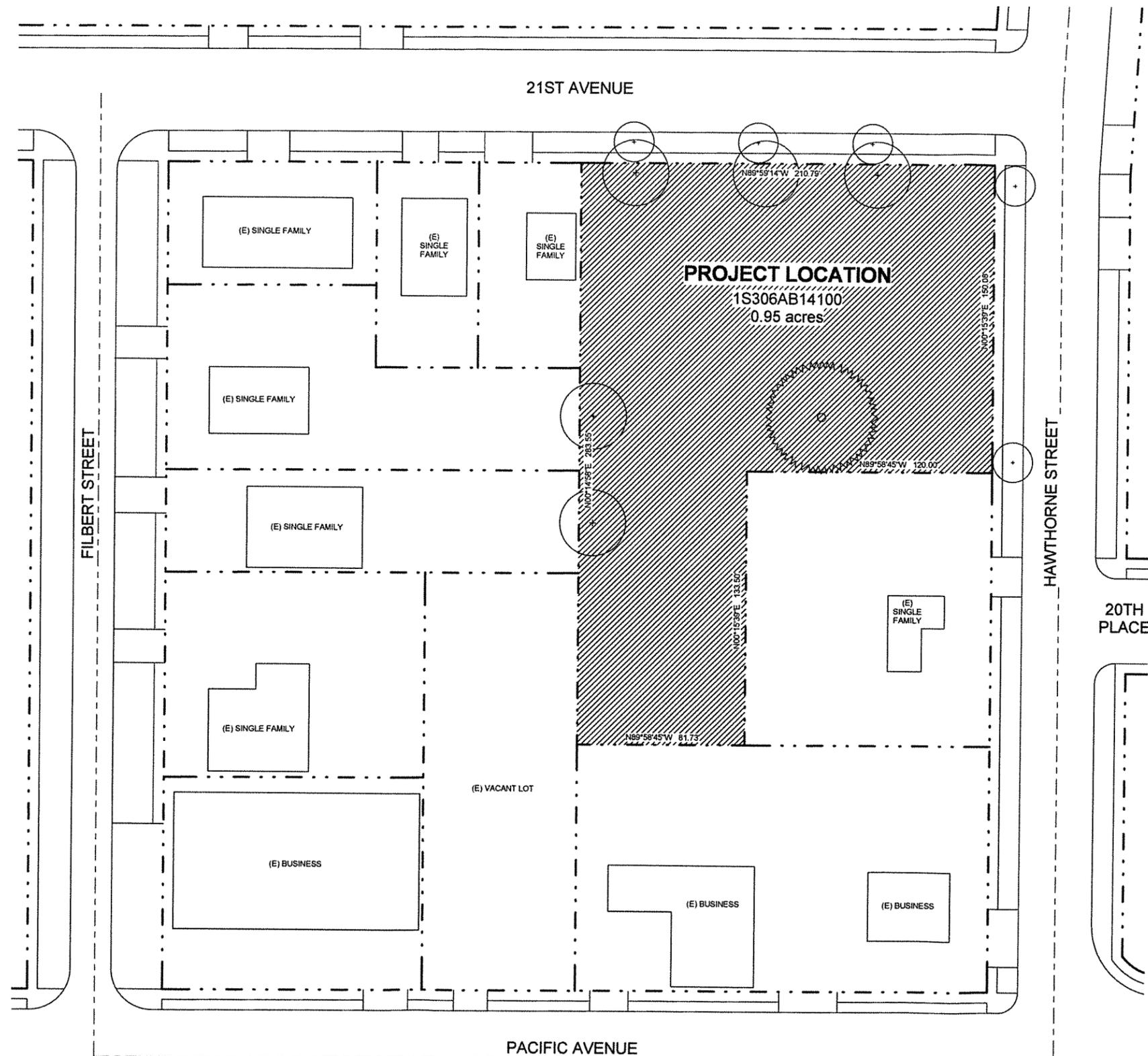
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DRAWING INDEX				
SHEET NUMBER	SHEET NAME	REVISION NUMBER	REVISION DATE	REVISION COMMENT
DR0	TITLE SHEET			
DR1	SITE PLAN			
DR2	EXISTING SITE			
DR3	ELEVATIONS			
DR4	ELEVATIONS			
DR5	LANDSCAPING PLAN			
DR6	SITE LIGHTING			
C10	EXISTING CONDITIONS			
C20	PRELIMINARY SITE PLAN			
C30	PRELIMINARY GRADING AND EROSION CONTROL PLAN			
C40	PRELIMINARY UTILITY PLAN			

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GENERAL SHEET NOTES

1. SITE ELEVATION VARIES LESS THAN 1'-0" ACROSS ENTIRE SITE.



04-28-16 160631 DR2
 DRAWN BY: NV
 CHECKED BY: DC
 TAX MAP & LOT: 1S306AB14100

0" = 3"
 Line is 3 inches at full scale
 (if not 3 inches then scale accordingly)

PREPARED FOR:
 GREG HENES
 13981 N MAIN STREET, BANKS,
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REVISIONS:

No.	Date	Description

PROJECT NUMBER: 160631
 DATE: 04-28-16

DESIGN REVIEW

SHEET TITLE:

EXISTING SITE

SHEET NUMBER:

DR2

1 EXISTING SITE PLAN
 1" = 30'-0"

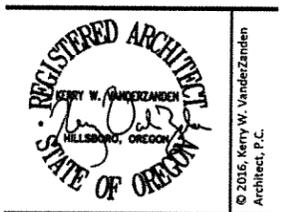
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0'-3"
 Line is 3 inches at full scale
 (if not 3 inches then scale accordingly)

PREPARED FOR:
 GREG HENES
 13981 N MAIN STREET, BANKS,
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REVISIONS:

No.	Date	Description

PROJECT NUMBER: 160631
 DATE: 04-28-16

DESIGN REVIEW
 SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

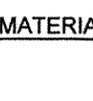
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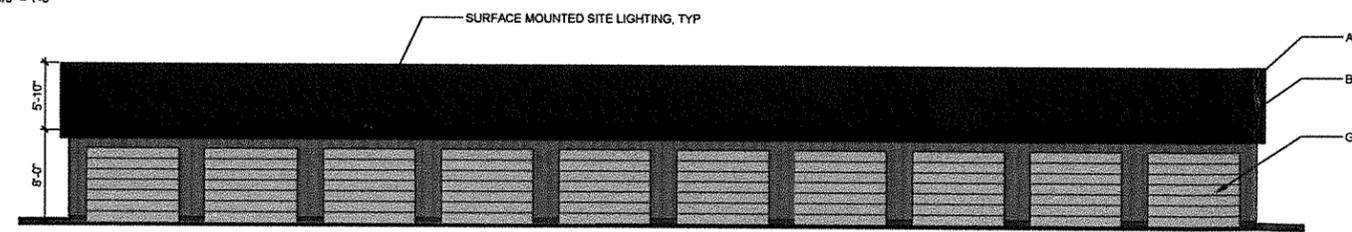


1 NORTH ELEVATION
 1/8" = 1'-0"

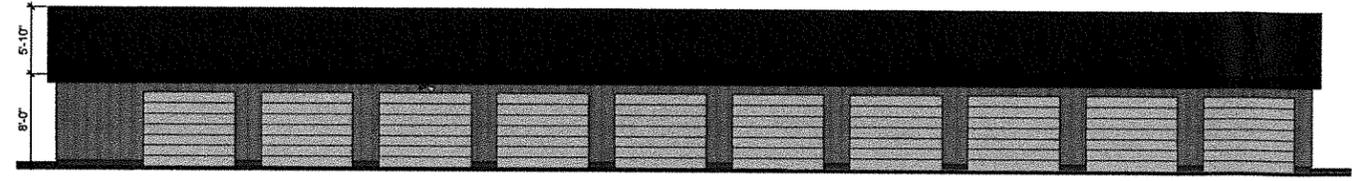


2 EAST ELEVATION
 1/8" = 1'-0"

- MATERIAL LEGEND**
-  ASPHALT SHINGLES ROOFING
 -  HARDIE-SHINGLE PAINTED SIDING
 -  HARDIE PLANK PAINTED SIDING
 -  HARDIE PANEL BOARD
 STYLE: SELECT CEDARMILL
 PAINTED
 -  HARDIE TRIM BATTENS BOARDS
 STYLE: RUSTIC GRAIN
 PAINTED
 -  MUTUAL MATERIALS
 STYLE: ROCKFACE
 -  HARDIE TRIM BOARDS
 STYLE: RUSTIC GRAIN
 PAINTED



4 WEST GARAGES - EAST ELEVATION
 1/8" = 1'-0"



5 EAST GARAGES - WEST ELEVATION
 1/8" = 1'-0"



6 GARAGES - NORTH ELEVATION
 1/8" = 1'-0"

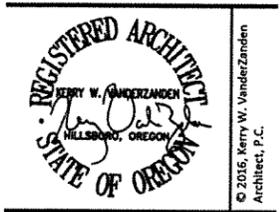
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0' - 3"
 Line is 3 inches at full scale
 (if not 3 inches then scale accordingly)

PREPARED FOR:
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 DATE: 04-28-16

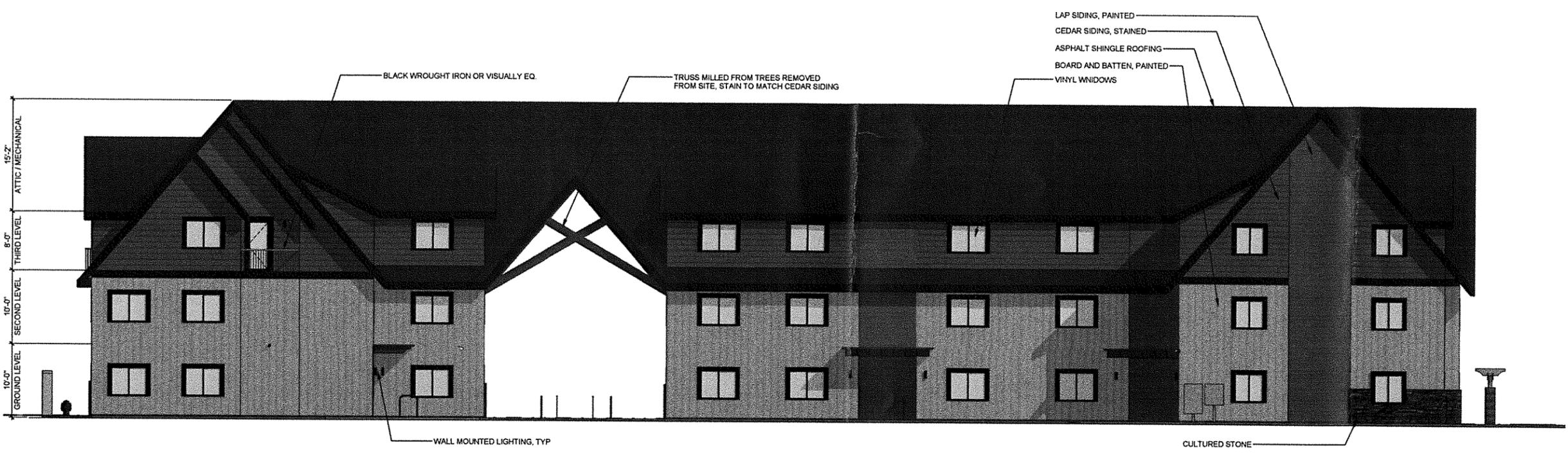
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SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

DR4



1 SOUTH ELEVATION
 1/8" = 1'-0"



2 WEST ELEVATION
 1/8" = 1'-0"

- MATERIAL LEGEND**
-  ASPHALT SHINGLE ROOFING
 -  HARDIE-SHINGLE PAINTED SIDING
 -  HARDIE PLANK
STYLE: SELECT CEDARMILL PAINTED
 -  HARDIE PANEL BOARD
STYLE: SELECT CEDARMILL PAINTED
 -  HARDIE TRIM BATTENS BOARDS
STYLE: RUSTIC GRAIN PAINTED
 -  MUTUAL MATERIALS
STYLE: ROCKFACE
 -  HARDIE TRIM BOARDS
STYLE: RUSTIC GRAIN PAINTED

0" = 3"
Line is 3 inches at full scale
(if not 3 inches then scale accordingly)

PREPARED FOR:

GREG HENES
13981 N MAIN STREET, BANKS,
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REVISIONS:

No.	Date	Description

PROJECT NUMBER: 160631

DATE: 04-28-16

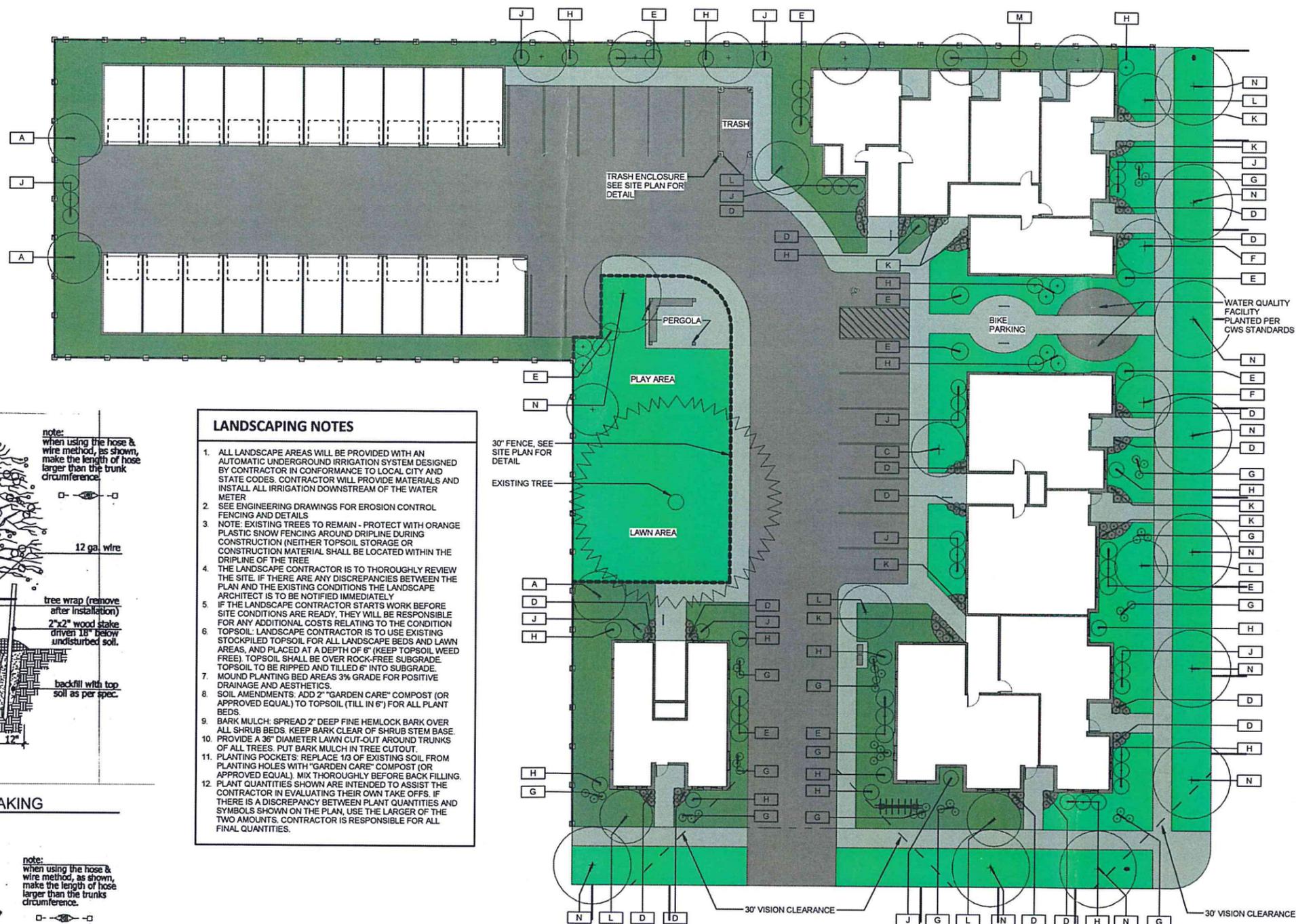
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SHEET TITLE:

LANDSCAPING PLAN

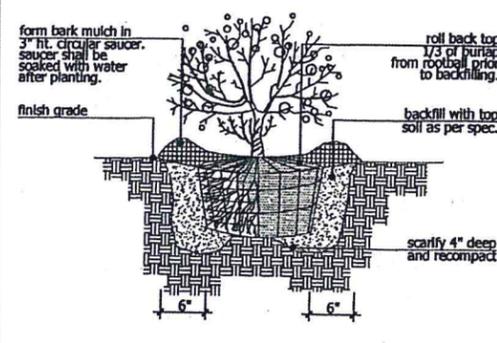
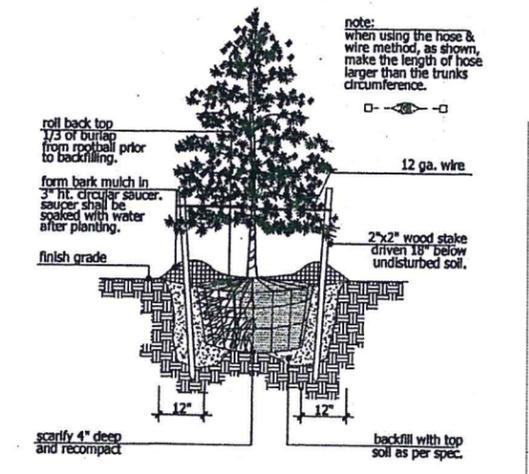
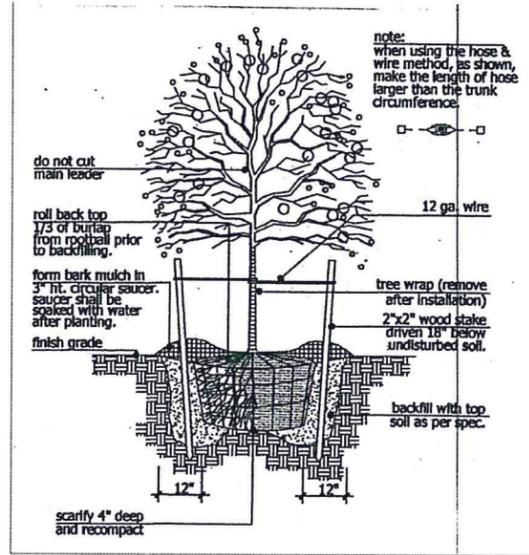
SHEET NUMBER:

DR5



LANDSCAPING NOTES

- ALL LANDSCAPE AREAS WILL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY CONTRACTOR IN CONFORMANCE TO LOCAL CITY AND STATE CODES. CONTRACTOR WILL PROVIDE MATERIALS AND INSTALL ALL IRRIGATION DOWNSTREAM OF THE WATER METER
- SEE ENGINEERING DRAWINGS FOR EROSION CONTROL FENCING AND DETAILS
- NOTE: EXISTING TREES TO REMAIN - PROTECT WITH ORANGE PLASTIC SNOW FENCING AROUND DRIPLINE DURING CONSTRUCTION (NEITHER TOPSOIL STORAGE OR CONSTRUCTION MATERIAL SHALL BE LOCATED WITHIN THE DRIPLINE OF THE TREE)
- THE LANDSCAPE CONTRACTOR IS TO THOROUGHLY REVIEW THE SITE. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLAN AND THE EXISTING CONDITIONS THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY
- IF THE LANDSCAPE CONTRACTOR STARTS WORK BEFORE SITE CONDITIONS ARE READY, THEY WILL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS RELATING TO THE CONDITION TOPSOIL. LANDSCAPE CONTRACTOR IS TO USE EXISTING STOCKPILED TOPSOIL FOR ALL LANDSCAPE BEDS AND LAWN AREAS, AND PLACED AT A DEPTH OF 6" (KEEP TOPSOIL WEED FREE). TOPSOIL SHALL BE OVER ROCK-FREE SUBGRADE. TOPSOIL TO BE RIPPED AND TILLED 6" INTO SUBGRADE.
- MOUND PLANTING BED AREAS 3% GRADE FOR POSITIVE DRAINAGE AND AESTHETICS.
- SOIL AMENDMENTS. ADD 2" "GARDEN CARE" COMPOST (OR APPROVED EQUAL) TO TOPSOIL (TILL IN 6") FOR ALL PLANT BEDS.
- BARK MULCH: SPREAD 2" DEEP FINE HEMLOCK BARK OVER ALL SHRUB BEDS. KEEP BARK CLEAR OF SHRUB STEM BASE. PROVIDE A 36" DIAMETER LAWN CUT-OUT AROUND TRUNKS OF ALL TREES. PUT BARK MULCH IN TREE CUT-OUT.
- PLANTING POCKETS: REPLACE 1/3 OF EXISTING SOIL FROM PLANTING HOLES WITH "GARDEN CARE" COMPOST (OR APPROVED EQUAL). MIX THOROUGHLY BEFORE BACK FILLING.
- PLANT QUANTITIES SHOWN ARE INTENDED TO ASSIST THE CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS. IF THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES AND SYMBOLS SHOWN ON THE PLAN, USE THE LARGER OF THE TWO AMOUNTS. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES.



1 LANDSCAPING PLAN
1/16" = 1'-0"

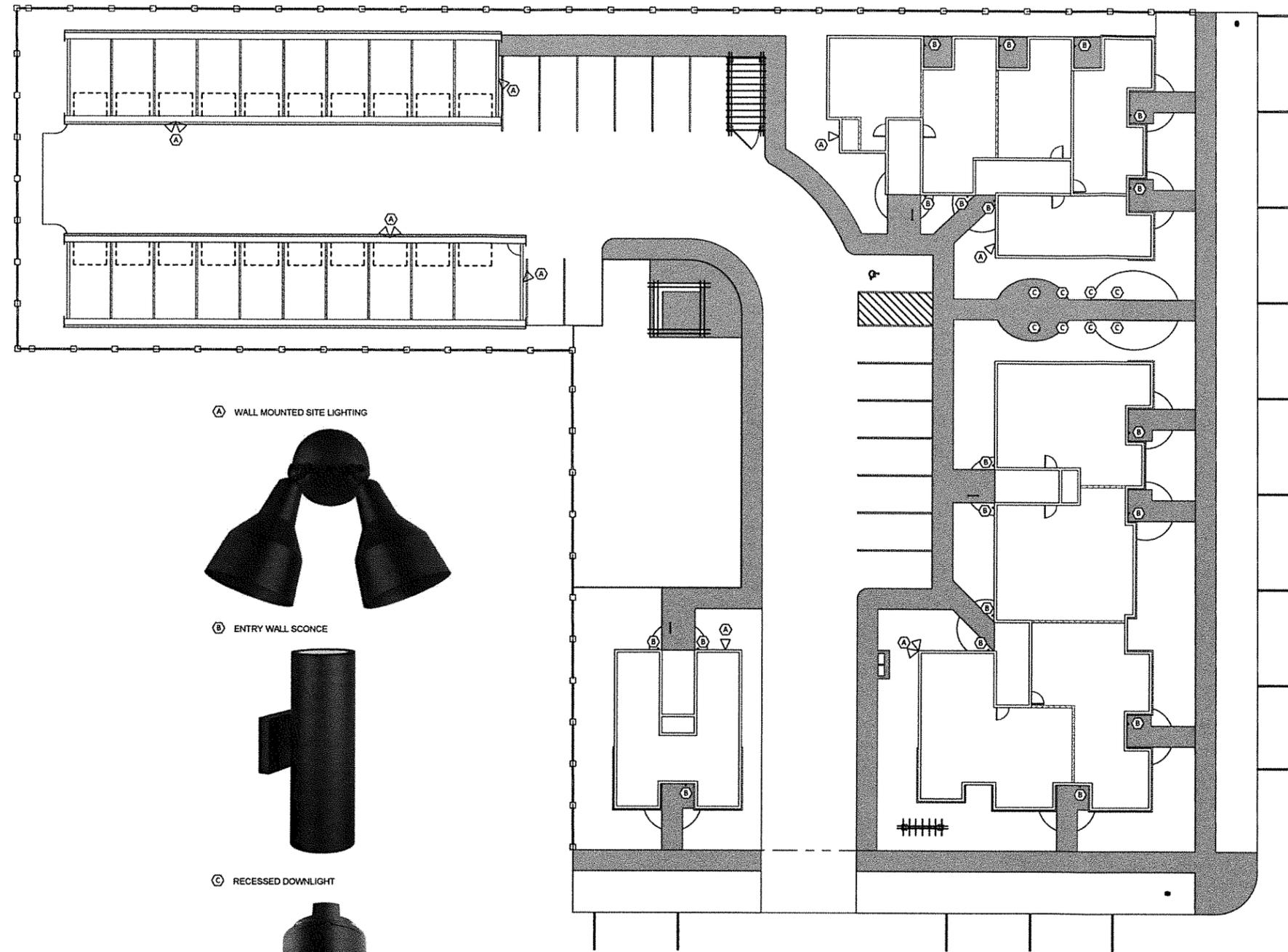
PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUAN.	COMMENTS
-	NA	CEDAR	NA	1	
A	ACER CERCINATUM	VINE MAPLE	5'-6" HT	10	
B	ARCTOSTAPHYLUS UVA URSI	KINKINICK	1 GAL	450	
C	CERCIS CANADENSIS	EASTERN REDBUD	5'8" HT	1	
D	CORNUS STOLONIFERA 'KESEYII'	'KELSEY' RED TWIG DOGWOOD	1 GAL	71	
E	ELIUNYMLIS ALATA COMPACTA	COMPACT BURNING BUSH	2 GAL	22	
F	MAGNOLIA STELLATA	STAR MAGNOLIA	5'-6" HT	2	
G	PENNISETUM ALOPECUROIDES HAMELN	'HAMELN' DWARF FOUNTAIN GRASS	1 GAL	43	
H	PIERIS JAPONICA 'MNT FIRE'	'MOUNTAIN FIRE' ANDROMEDA	3 GAL	25	
J	SPIRAEA BUMALDA 'GOLD FLAME'	'GOLD FLAME' SPIREA	2 GAL	23	
K	SALIX PURPUREX 'GRACILIS'	DWARF PURPLE OSIER WILLOW	1 GAL	38	
L	STYRAX JAPONICA	JAPANESE SNOWBELL	5'-6" HT	6	
M	THUJA OCCIDENTALIS	ARBORVITAE	4'-5" HT	2	
N	ZELKOVA SERRATA	WIRELESS ZELKOVA	2" CAL	11	



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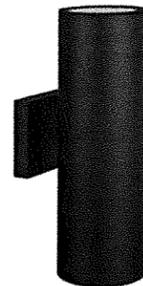
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(A) WALL MOUNTED SITE LIGHTING



(B) ENTRY WALL SCONCE



(C) RECESSED DOWNLIGHT



1 SITE LIGHTING PLAN
1/16" = 1'-0"

04-28-16 160631 DR6
DRAWN BY: NV
CHECKED BY: DC
TAX MAP & LOT: 1S306A814100

0' - 3"
Line is 3 inches at full scale
(if not 3 inches then scale accordingly)

PREPARED FOR:

GREG HENES
13981 N MAIN STREET, BANKS,
OR 97106

NEW APARTMENTS

CEDAR MANOR
HAWTHORNE ST. & 21ST AVE.
FOREST GROVE, OR 97116



KERRY W. VANDERZANDEN
ARCHITECT, P.C.

13981 N. MAIN STREET
BANKS, OREGON 97106
(503) 319-7666 / (503) 324-0883 FAX

REVISIONS:

No.	Date	Description

PROJECT NUMBER: 160631

DATE: 04-28-16

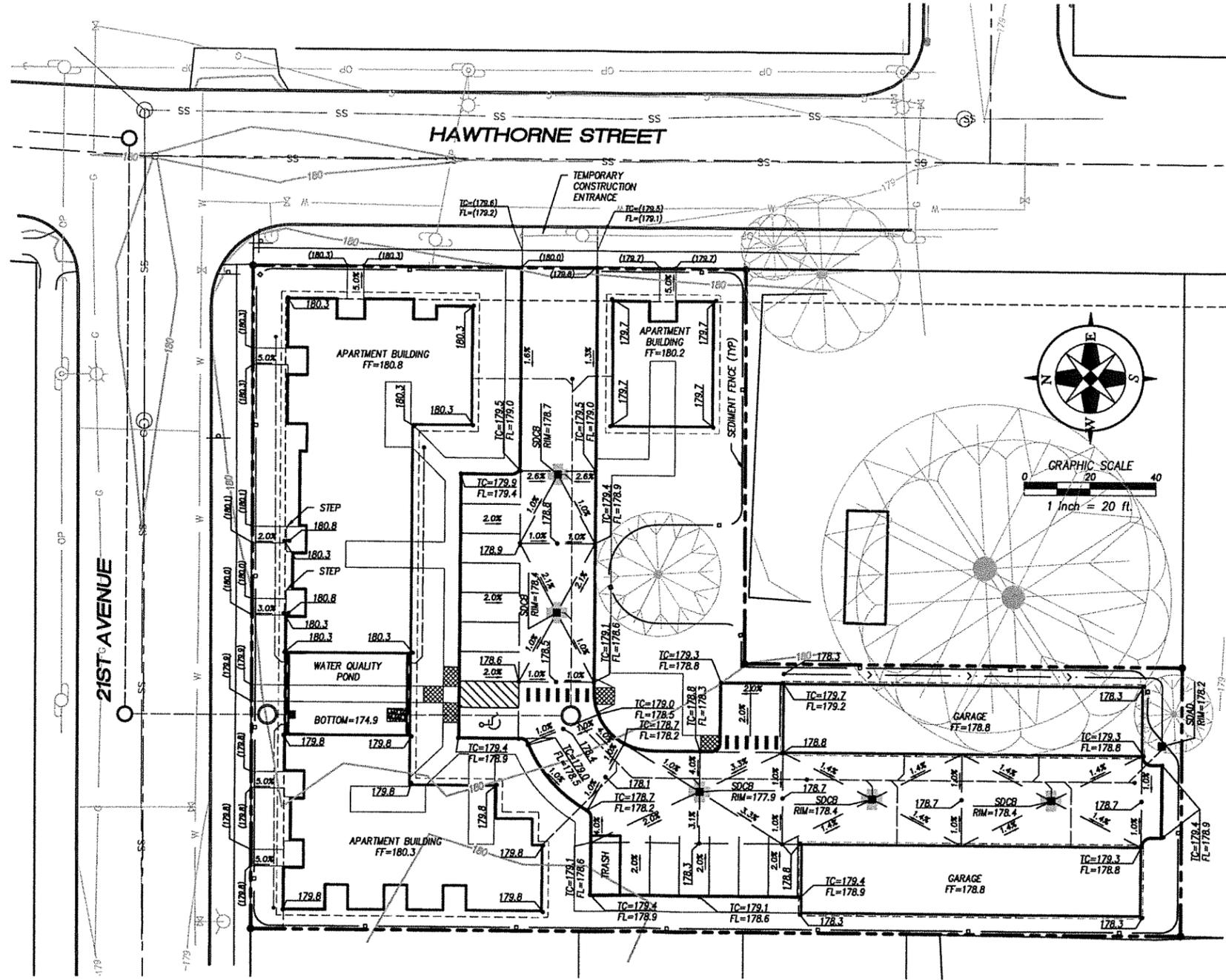
DESIGN REVIEW

SHEET TITLE:

SITE LIGHTING

SHEET NUMBER:

DR6

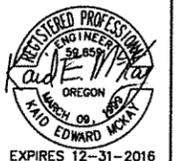


PRELIMINARY GRADING AND EROSION CONTROL PLAN

HAWTHORNE APARTMENTS
 FOR: KERRY VANDERZANDEN ARCHITECT P.C.
 13981 N. MAIN STREET, BANKS OR 97106

REV.	DATE	DESCRIPTION	BY

McKay Consulting, LLC
 Planning - Engineering - Surveying
 17538 NW Deerfield Drive
 Portland Oregon 97229
 (971) 533-4359
 kca01.km@gmail.com



W:\16024 KVA Hawthorne\5 Planning\16024 Base.dwg Apr 28, 2016 -- 2:46pm

DESIGNED BY:	KAD E. MCKAY
DRAWN BY:	KAD E. MCKAY
CHECKED BY:	KAD E. MCKAY
DATE:	APRIL 28, 2016
REVISED ON:	
JOB NAME:	HAWTHORNE APARTMENTS
JOB #:	16024

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CHECKED BY:
TAX MAP & LOT:
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(if not 3/16 inches)
PREPARED FOR:

GREG HENES
13981 N MAIN STR
OR 97106

NEW APA

CEDAR MA
HAWTHORNE S
FOREST GROVE,



KERRY W. VA
ARCHITECT, P.C
13981 N. MAIN STR
BANKS, OREGON 97
(503) 319-7666 / (503)

REVISIONS:

No.	Date

PROJECT NUMBER:
DATE:
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SHEET TITLE:

STREE

SHEET NUMBER:

D



1 NORTH ELEVATION
3/32" = 1'-0"



2 EAST ELEVATION
3/32" = 1'-0"

EXHIBIT B

Vicinity Map with Addresses

Vicinity Map

