



Site Plan and Design Review Staff Report and Recommendation

Community Development Department, Planning Division

REPORT DATE: June 5, 2020

HEARING DATE: June 15, 2020

LAND USE REQUEST: Site Plan and Design Review of a proposed 6,095-square-foot commercial building with drive-through and parking

FILE NUMBER: 311-20-000038-PLNG

PROJECT NAME: Pacific Grove

PROPERTY LOCATION: 3424-3438 Pacific Avenue and 1943 Oak Street

LEGAL DESCRIPTION: Washington County Tax Lots 1S305BA00300, 500, 501 and 1700

OWNER/APPLICANT(S): Applicant/Property Owner: Pacific Development Ventures (Josh Veentjer), 1212 SW Fairfax Place, Portland, Oregon, 97225
Applicant's Representative: CB Anderson, Architect
7209 Greenwood Avenue North, Seattle, Washington 98103

**COMPREHENSIVE PLAN
MAP AND ZONING MAP
DESIGNATIONS:** Community Commercial (CC)
Community Commercial (CC)

**APPLICABLE
STANDARDS
AND CRITERIA:** City of Forest Grove Development Code
§17.2.300 et. seq. *Design Review*
§17.2.400 et. seq. *Site Review*
§17.3.300 - .340 *Commercial and Mixed Use Zones*
§17.7.200 et. seq. *Solid Waste and Recycling*
§17.8.000 et. seq. *General Development Standards*

City of Forest Grove Design Guideline Handbook
Focus Area II *Commercial Corridor Focus Area*

REVIEWING STAFF: James Reitz (AICP) Senior Planner

RECOMMENDATION: Staff recommends approval with conditions

I. LAND USE HISTORY

In 2017, the Planning Commission reviewed and approved site and design review for a proposed three-story office building on this site. That project did not proceed and the approval has now lapsed.

This application is for a site and design review permit to allow for a new commercial building and drive-through. Two of the three suites would be occupied by eating and drinking establishments (Starbucks Coffee and MOD Pizza). The tenant for the third suite has not been identified at this time.

Development Code (DC) §17.3.320 Table 3-10 *Commercial and Mixed Use Zones – Use Table* lists *Eating and Drinking Establishments* as permitted uses in the Community Commercial zoning district.

Because the proposed building would exceed 3,000 square feet of gross floor area, the Design Guidelines require Planning Commission review pursuant to Type III review procedures. Because this activity requires design review, all associated reviews (in this case, site plan approval) are also subject to Planning Commission review, pursuant to DC §17.1.517.

The application was submitted April 10, 2020. It was deemed complete on May 14, 2020. Public notice for this application was mailed to property owners and residents within 300 feet of the site on May 22, 2020, as required by DC §17.1.160. Notice of this request was also provided to the Plans Review Board (PRB) and published in the *News-Times*. PRB comments are listed elsewhere in this report. As of the writing of this report, no comments have been received from the public.

II. PROJECT DESCRIPTION AND ANALYSIS

1. Description of Proposal: The proposal would result in the construction of a new commercial building with a drive-through, and associated parking and landscaping. The building would be a single-story and have about 6,100 square feet of floor area; outdoor seating would also be provided. The site would take vehicular access from both Oak Street and Poplar Street; no vehicular access to Pacific Avenue is proposed.
2. Existing Comprehensive Plan Designation and Zoning of Site and Area

LOCATION	COMPREHENSIVE PLAN DESIGNATION	ZONE DISTRICT	LAND USE
Site	Community Commercial (CC)	Community Commercial (CC)	Outbuilding Billboard
North	Community Commercial (CC)	Community Commercial (CC)	McMenamin's Grand Lodge
South	Community Commercial (CC)	Community Commercial (CC)	Single-Family Residential Vacant Land
East	Community Commercial (CC)	Community Commercial (CC)	Residence Vacant Land
West	Community Commercial (CC)	Community Commercial (CC)	Dental Clinic and Insurance Office

3. Site Examination: The project site has an area of 1.26 acres. It abuts Pacific Avenue, Oak Street and Poplar Street. It is flat with minimal landscaping. The site has been cleared of most improvements; only a billboard, and an outbuilding at 1943 Oak Street, remain. All would be removed for this project.

The site is comprised of four parcels, which the applicant is in the process of consolidating into a single parcel. Due to building code requirements, the lot consolidation process must be completed prior to the issuance of any building permits for any buildings on or near the existing lot lines.

Two abutting properties at 1934 and 1942 Poplar Street are proposed to be developed with apartments; they would be part of a larger project to develop what is colloquially known as the Albertson's site. Planning Commission review of that project is scheduled for July 2020.

Two homes at 1935 Oak Street and 1948 Poplar Street are also adjacent to the project site. They too are located in the Community Commercial zoning district and also could be redeveloped with commercial or higher density residential uses.

4. Site Design: The site plan consists of a new building with three tenant spaces, a car park for 61 cars, outdoor seating areas on the south side of the building, and landscaping. The building would parallel Pacific Avenue, separated from the street by a drive-through lane to the Starbucks Coffee suite. Access to the site would be via driveways connecting to both Oak Street and Poplar Street. There would be no vehicular access to Pacific Avenue.

Both the Pacific Avenue and Poplar Street frontages would be fully improved with curbs, gutters, sidewalks and street trees. The Oak Street frontage is already improved, but will be modified with this project. Walkways would connect the building and car park with the sidewalks on all three streets. The balance of the site would be landscaped (further discussion follows in the Landscape section below).

5. Building Design Standards for Commercial Development: The standards of DC §17.8.710(B) apply to commercial development in the Community Commercial zoning district, as follows:

- Building Orientation. This section requires that buildings be designed and constructed so that at least one façade is within 60 feet of a public street; and that a minimum of one primary building entrance for each building either faces the street or an internal roadway. The building would be about 33 feet from the Pacific Avenue right-of-way (r.o.w.), and there would be three entrances facing the street. Additional entrances would face the car park on the opposite (south) side of the building.
- Massing and Form. This section requires building articulation including changes in depth of façade, maximum building length, varied rooflines, and vertical elements. The building exhibits these characteristics, with changes in façade depth, varied roof heights, and vertical elements. The building length of 115 feet would be well short of the 200-foot maximum.
- Design Elements. This section requires buildings near the street to have an entrance every 100 feet; weather protection if adjacent to the sidewalk; transparent windows; and no synthetic materials on the ground floor. The

building would have three entrances facing Pacific Avenue. They would be sheltered; and windows would be transparent. No synthetic material is proposed.

- Compatibility. This section requires a “step-down” in building height near adjacent residential zones. As no residential zones abut the site, this section is not applicable.
- Safety. This section prohibits security bars and motion activated lighting, none of which is proposed. This section further requires public access to all plazas, etc., but none are proposed in this project. Lastly, this section requires that car parks not be gated or secured; no gates are proposed.

6. Setbacks and Height Requirements:

- The site is located in the Community Commercial (CC) zoning district. No front, side, or rear setbacks apply. At its closest point, the building would be located about 33 feet from the Pacific Avenue r.o.w. The side (west) setback would be about 22 feet, the side (east) setback would be about 47 feet while the rear (south) setback would be nearly 90 feet.
- The height limit in the CC zone district is 45 feet. The height of the building would be about 32 feet at the gabled roof peak; most of the parapet would be 27 feet tall. All heights would be well below the maximum allowed.

As there are no setbacks required in the CC zone district, and the building height would be less than the maximum allowed, these provisions have been met.

7. Compatibility: The Community Commercial zoning district allows a range of permitted uses, including day care, restaurants, personal services such as banks and beauty shops, and offices. As restaurants (eating and drinking establishments) are a permitted use in the CC zoning district, it would be compatible with the purpose statement of the CC zoning district, to wit: a concentration of mixed uses, including retail, service, offices and residential uses along the regional transit corridor.
8. Traffic and Circulation: The site fronts Pacific Avenue, a designated Arterial street. It has two travel lanes in each direction and a central left-turn lane. The site would not take any vehicular access from Pacific Avenue; vehicular access would be from Oak Street and Poplar Street, both of which are designated Local streets. All three streets are under City jurisdiction.

The Poplar Street right-of-way is of substandard width. To comply with Development Code standards, the applicant will be required to dedicate a 29-foot-wide half width. This width will allow for the construction of a 32-foot-wide street.

Because both the Pacific Avenue and Poplar Street frontages are not improved to City standards, those improvements (curbs, gutters, sidewalks, and landscaping), will be required to be installed to comply with Development Code standards.

Conclusion: With the stipulations noted above, traffic access and circulation requirements would be met.

9. Pedestrian Walkways: Concrete pedestrian walkways are proposed to connect the car park to the building and to the adjacent street sidewalks. DC §17.8.115(4)

requires a minimum walkway width of four feet. The proposed walkways would be not less than five feet wide; the walkway connections to Pacific Avenue would be about 9 ½ feet wide.

Conclusion: Pedestrian access requirements would be met.

- Parking: DC §17.8.515 Table 8-5 *Parking Requirements* regulates the minimum number of parking stalls required and the maximum number of parking stalls allowed. Because two of the three suites would be developed with eating and drinking establishments, the parking requirement is premised on all 3 suites being developed as such.

Use	Proposed Floor Area	Minimum Spaces per 1,000 S.F.	Maximum Spaces per 1,000 S.F.	Spaces Required
Eating & Drinking Establishment	6,095 Square Feet	9.90	12.40	60 Minimum 76 Maximum

Between 60 and 76 spaces would be required overall. As designed, 61 spaces would be constructed. All would be standard-sized (including 3 ADA-accessible space).

DC §17.8.520(A)(1) allows for a 10% reduction in parking when a site is located within 500 feet of a transit stop. The nearest transit stop is located at 3332 Pacific Avenue, about 200 feet from the site. The east loop of GroveLink is also routed nearby, proceeding west on Pacific Avenue from Oak Street. Because of the proximity to transit, on-site parking could be reduced by 6 spaces.

In addition, DC §17.8.510(H) allows parking spaces along a public street frontage to be eligible in fulfilling the on-site parking requirement. About 13 on-street spaces would be available adjacent to this project: 11 spaces along Pacific Avenue and 1 space each along Oak Street and Poplar Street.

The site may be “over-parked” i.e., it may be providing more parking than is actually needed, which can have deleterious effects including:

- Unnecessarily driving up the cost of development
- Encouraging auto-centric development
- Consuming land that could be used for other purposes
- Creating more impervious surface
- Raising temperatures (through heat-island effects)
- Increasing separation of buildings which deters walking and encourages motorized travel, and
- Creating dead zones of empty, underutilized space.

Combining the provisions of DC §17.8.520(A)(1) and DC §17.8.510(H), the on-site car park could be reduced by up to 19 spaces. To help mitigate the effects described above, staff has proposed an **optional condition** to reduce the on-site car park by up to 11 spaces, consisting of the 2 parallel spaces and the 9 spaces located closest to Poplar Street. These areas could then be used for additional landscaping.

- Environmental Quality: There is no City record of any prominent environmental conditions. Runoff from new impervious surfaces would be routed to new on-site water quality facilities. Additional landscaping is proposed to be installed (see below) that may improve air quality and reduce glare and heat.

12. Landscaping: DC §17.8.545 requires landscaping and screening of car parks. Proposed landscaping would include a variety of deciduous trees (tupelo, dogwood, flowering pear and red maple) scattered throughout the site and in the parkway. The plans also include arborvitae which would be used for perimeter screening purposes, shrubs and ornamental grasses. The landscape plan appears to comply with the provisions of this code section.
13. Public Services: The application has been reviewed by the Building, Engineering, Fire, Light and Power, Police, and Public Works departments. Specific comments included:
 - a. Building Division: Incorporate geo-tech requirements into the foundation, footing, construction and drainage plans.
 - b. Engineering Department: (i) Submit a storm water drainage report, and a private water quality facility maintenance plan and agreement; (ii) Submit a copy of the CWS storm water connection permit; (iii) Install two ADA curb ramps at the intersection; (iv) All street frontage improvements shall be constructed concurrent with this project.
 - c. Fire Department: (i) The building address shall be identified with digits at least 6 inches tall that contrasts with their background; (ii) Provide signage indicating fire sprinkler control room, as approved by the Fire Marshal; (iii) The Fire Department Connection (FDC) shall be a 4-inch Storz thread mounted on a 30° or 45° downward angled elbow.
 - d. Light and Power Department: (i) A 10-foot-wide public utility easement is required adjacent to the Oak Street and Poplar Street property lines. Additional easements may be required if a loop feed through the property is determined possible and beneficial; (ii) All lighting within the project site will be customer owned and designed by the developer; (iii) The developer is responsible for providing and installing all vaults and conduits.

No issues or concerns were registered by the Police or Public Works departments.

14. Site Development Approval Criteria: DC §17.2.450 *Site Development Review Criteria* are as follows:

The Planning Commission shall review and approve, conditionally approve, or deny the site development plan based on the following criteria:

- A. The site development plan complies with all applicable standards of the base zoning district, any overlay district, and the applicable general development standards of Article 8.

Finding: The site is located in the Community Commercial (CC) zoning district. No front, side, or rear setbacks apply. At its closest point, the building would be located about 33 feet from the Pacific Avenue r.o.w. The side (west) setback would be about 22 feet, the side (east) setback would be about 47 feet while the rear (south) setback would be nearly 90 feet.

Finding: The height limit in the CC zone district is 45 feet. The height of the building would be about 32 feet at the gabled roof peak; most of the parapet would be 27 feet tall. All heights would be well below the maximum allowed.

Finding: The trash and recycling enclosure would be screened and roofed.

Finding: Walkway widths would meet or exceed the minimum required.

Finding: With about 6,100 square feet of floor area, and assuming that the entire building would be occupied with Eating and Drinking Establishments, between 60 and 76 parking spaces would be required. The proposed site plan shows 61 spaces; therefore, it complies with the number of spaces required.

Finding: DC §17.8.545 requires landscaping and screening of car parks. Landscaping would include a variety of deciduous trees (tupelo, dogwood, flowering pear and red maple) scattered throughout the site and in the parkway. The plans also include arborvitae which would be used for perimeter screening purposes, shrubs and ornamental grasses. The landscape plan complies with the provisions of this code section.

Conclusion: The project would comply with Development Code standards.

B. The site development plan ensures reasonable compatibility with surrounding uses as it relates to the following factors:

1. Building mass and scale do not result in substantial visual and privacy impacts to nearby residential properties; and
2. Proposed structures, parking lots, outdoor use areas or other site improvements that could cause substantial off-site impacts such as noise, glare and odors are oriented away from nearby residential uses and/or adequately mitigated through other design techniques.

Finding: There are two residential properties abutting the site; two additional vacant parcels abutting the site are proposed to be developed with apartments. This building would be located at the northwest corner of the site, nearly as distant as is possible from the abutting residential properties. In addition, substantial landscaping would be installed along the common property lines, including an arborvitae hedge. The height and shielding of car park and on-building lighting will comply with Development Code standards. The trash enclosure would be located adjacent to Oak Street, more than 50 feet from the nearest residence. These criteria are met.

C. The site development plan preserves or adequately mitigates impacts to unique or distinctive natural features including, but not limited to:

1. Significant on-site vegetation and trees;
2. Prominent topographic features; and
3. Sensitive natural resource areas such as wetlands, creek corridors and riparian areas.

Finding: No sensitive natural resource areas, prominent topographic features or significant on-site vegetation or trees are extant. This criterion does not apply.

D. The site development plan preserves or adequately mitigates impacts to designated historic resources.

Finding: No designated historic resources are present on or adjacent to the site. This criterion does not apply.

- E. The site development plan provides adequate right-of-way and improvements to abutting streets to meet the street standards of the City. This may include, but not be limited to, improvements to the right-of-way, sidewalks, bikeways, and other facilities needed because of anticipated vehicular and pedestrian traffic generation.

Finding: Additional r.o.w. will be required along Poplar Street. It, Oak Street and Pacific Avenue will be fully improved to City standards with this project.

- F. The site development plan promotes safe, attractive and usable pedestrian facilities that connect building entrances, public sidewalks, bicycle and auto parking spaces, transit facilities, and other parts of a site or abutting properties that may attract pedestrians.

Finding: DC §17.8.115(4) requires a minimum walkway width of four feet. Concrete pedestrian walkways are proposed to connect the building to the car park and public sidewalk. All walkways would be at least five feet wide. This criterion is met.

- G. Design Review Criteria: Projects subject to design review by the Director (Type II) or the Design Review Commission (Type III) shall be evaluated based on the following:

- A. The development standards of the applicable zoning district and any overlay district;
- B. The general development standards of Article 8.
- C. Departures from code requirements may be permitted as part of a Track 2 Design Review Process, when the following criteria are met:
1. The design guidelines contained in the applicable section of the "Design Guideline Handbook" are adequately addressed.
 2. The applicant demonstrates that the overall development would result in a development that better meets the intent of the design guidelines than a design that simply meets the Code.

The Design Guideline Handbook Section II *Commercial Corridor Design Guidelines* establishes specific design review criteria intended to respond to typical commercial development common to Forest Grove, as follows. The project substantially complies with the clear and objective criteria established in the Development Code.

Site – Circulation

- *Access to parking shall be from a local or collector street, an adjacent development, alley, or existing driveways along arterial roadways.* Access would be from Oak Street and Poplar Street; both are designated Local streets.
- *The site plan shall provide connection to vehicular and pedestrian system into adjacent developments.* Pedestrian walkways would connect to the public sidewalks on all three street frontages. The only possible vehicular access to the adjoining dental office site would be via the drive-through

aisle, thus compromising its function. Vehicular access would not be provided to other adjacent parcels since they are all (or will be) residentially-developed.

- *Where buildings are setback from right-of-ways, a continuous and direct sidewalk with a 12-foot minimum width shall be provided between the public sidewalk and the front door to all buildings on site. While narrower than 12 feet, two walkways each 9 ½-feet wide would be provided to the public sidewalk along Pacific Avenue.*
- *All walkways shall include canopy trees spaced at maximum of 30 feet on center. Trees shall be placed in ornamental cast iron tree grates or planting beds. Canopy trees are proposed throughout the car park.*
- *All roadways or drives shall include sidewalks on both sides of travel lanes with the exception of vehicle facilities that provide access to loading and service areas. Walkways would be provided along the drive aisles and would connect to the public sidewalks.*

Site – Parking

- *Construct off-street surface parking that does not occupy more than 50% of the street frontage. Where a site has frontage along a side street a surface parking lot may occupy more than 50% of the side street frontage. The parking area is mostly located behind the building.*
- *A minimum 5' landscaped strip abutting property lines and at least 8% of the interior parking lot area shall be landscaped. The interior parking lot area equals 26,019 square feet; 8% of that area equals 2,082 square feet. Actual interior landscape area would be 3,659 square feet, well in excess of the minimum required. Perimeter landscaping areas are all at least 5 feet wide.*
- *Screen parking with solid perimeter wall, earthen berm or evergreen hedge (or a combination thereof) at a minimum spacing of 3 feet and a maximum of 5 feet in height. Complies. The car park would be largely screened because it would be located behind the building. Landscaping would also be located throughout the car park and along the perimeter to provide additional screening, including an evergreen arborvitae hedge.*
- *Provide a minimum of 15% of parking lot as water pervious surface – either paving or landscaped retention areas. Landscape areas totaling about 23% of the site would provide water pervious surfaces.*
- *Development sites shall not consist of paved parking areas of more than 50% of the entire site area. Complies. Total site area is about 54,700 square feet. Car park pavement equals about 24,570 square feet, or about 46% of the site area.*

Site – Building Orientation

- *Design and construct buildings no greater than sixty (60) feet from a dedicated public right-of-way. At its closest point, the building would be located about 33 feet from the Pacific Avenue right-of-way.*
- *Design and construct a minimum of one primary building entrance for each building ground floor use or tenant along a public right-of-way or internal roadway built to City public street engineering standards. The building would have three entrances facing Pacific Avenue and three more facing the car park.*

Site – Pedestrian Environment

- *The sidewalk system shall connect all customer entrances to the public sidewalk. Walkways would extend from all building entrances to the public sidewalk.*
- *Minimum sidewalk width of ten (10) feet. Sidewalks shall meet American with Disabilities Act (ADA) requirements and may include landscaped areas, benches and other pedestrian amenities. Sidewalk width is proposed to be 5 feet, which is consistent with the sidewalks constructed outside the town center.*
- *Plazas, squares or courts shall be fronted by commercial building facades with 75% or more transparency/window openings of first 15 feet of building. Not applicable, as no plazas, etc. are proposed.*
- *All development shall provide a sheltered entry area at the entrance to each commercial establishment with a minimum area of fifty (50) square feet and a minimum dimension of six (6) feet. Complies. All building entries would exceed these dimensions.*

Site – Screening/Service Areas

- *All loading areas shall be physically separated from customer pedestrian and residential areas with a solid fence, evergreen hedge, arbor, berm or a combination of these elements. Not applicable, as there are no loading areas proposed or required.*
- *See landscape requirements in §17.8.545 Landscaping and Screening of Parking and Loading Areas. Perimeter car park landscaping and interior parking lot landscaping comply with this standard, as indicated on the Landscape Plan.*
- *All ground level and roof-top mechanical equipment shall be screened from view with landscaping, fencing and or walls. The height of the screen shall equal or exceed the height of the equipment, and include screening from views from above when visible from adjacent inhabited buildings. Rooftop mechanical equipment will be screened by the building parapet. Ground level mechanical equipment (gas meters) will be located on the west side of the building largely out of public view, and also screened with landscaping.*

Site – Landscaping

- *A landscaped strip at least five (5) feet in width shall be provided between a parking area and any property line facing a street, except in the Community Commercial zone, the minimum width shall be ten (10) feet. The landscaped strip shall be appropriately landscaped with ground cover, planted berm, shrubbery and/or trees. The landscape plan complies with these provisions.*
- *At least 75% of required landscaped area shall be planted with any suitable combination of trees, shrubs, or evergreen ground cover. All landscaped areas are proposed to be planted with trees, shrubs, ground cover and grasses.*
- *A maximum of 25% of required landscaped area may include architectural features or artificial ground covers such as sculptures, benches, masonry or stone walls, rock groupings, decorative hard paving and gravel areas interspersed with planting areas. Not applicable, as no such materials are proposed.*
- *Buffering and screening is required as specified in §17.8.400 et. seq. The parking area would be largely screened by being located behind the*

building. Landscaping would also be located throughout the car park and along the perimeter to provide additional screening.

- *All development projects fronting on a public or private street more than 100 feet in length approved after the adoption of this title shall be required to plant street trees (spacing, and tree type varies according to DC §17.5.120(A)(1)).* The landscape plan complies with these provisions.

Building – Massing and Form

- *Provide changes in the depth of the façade plane in excess of two (2) feet for all building walls more than 75 feet in length.* The building articulation includes changes in depth of façade, varied rooflines, and vertical elements.
- *Maximum length of building facades shall be 200 feet.* Building length is about 115 feet.
- *Roofline heights must be varied a minimum of 2 feet for building facades greater than 75 feet in length.* The roof plan includes several heights.
- *Provide vertical partitioning of facades by using columns, pilasters and other vertical elements a minimum of every twenty-five (25) feet.* Vertical elements include window treatments, vertical siding, and changes in material.
- *Articulation of building fronts through changes in depth or building relief (e.g., windows, doors, cornices, columns, and a change in materials) shall occur a minimum of every fifteen (15) feet in the horizontal or vertical dimensions.* The building has changes in both depth and materials.

Building – Design Elements

- *Every building elevation adjacent to a street with a horizontal dimension of more than 100 feet shall have a building entrance.* The building would be about 115 feet long and have three building entrances facing Pacific Avenue.
- *Building facades adjacent to sidewalks or pedestrian connections must include weather protection canopies or awnings along at least 75% of the length of the ground floor façade.* The building façade would not be adjacent to the sidewalk or a pedestrian connection. This criterion does not apply.
- *Incorporate a minimum of 50% transparency or window openings on the ground floor facades of buildings facing the public right-of-way.* Multiple window openings are proposed on all facades.
- *Windows shall not be reflective, tinted or treated in such a way as to block views into or out of windows.* No such window treatments are proposed.
- *Windows must be recessed a minimum of 4 inches from building facades.* Complies, based on the submitted architectural renderings.

The following applies for facades with primary building entries within 60 feet of public streets:

- *Materials such as synthetic stucco (EIFS, Dryvit, etc.) are prohibited at ground floor.* No such materials are proposed.
- *Jumbo bricks with dimensions larger than 4 x 8 x 2 inches are prohibited at ground floor.* No such bricks are proposed.
- *Walls constructed of spandrel glazing/curtain wall (i.e. smooth glass concealing structural elements) are prohibited at ground floor.* No curtain walls are proposed.

- *Vinyl cladding of the building façade is prohibited at ground floor. No vinyl cladding is proposed.*

Building – Compatibility

- *Any building or portion of a building that is less than 50 feet from existing residential dwellings must not be higher than 15 feet above the top of the roofline of the nearest existing dwelling. Not applicable, as no residential building is located less than 50 feet from the building.*
- *When adjacent to existing residential development, all commercial structures with floor areas less than 20,000 square feet of total building area must have sloped roofs. The building exhibits a combination of both sloped and shed roofs.*

Building – Safety

- *Security gates or bars on windows or doors are prohibited along ground floors of commercial buildings, excluding loading and storage areas. No security gates, bars or doors are proposed.*
- *Motion-activated security lighting is prohibited along building facades that front onto public rights-of-way. No motion-activated lighting is proposed.*
- *Public access shall be provided to all commercial uses that provide plazas, squares, or courts intended for food, beverage or entertainment uses. Not applicable, as no such features are proposed.*
- *Parking lots or roadways shall not be gated or secured excluding loading and storage areas or residential parking areas. No gates are proposed.*

Lighting – Exterior Building

- *Building lighting shall be directed downward with no splay of light off the site. Lights will be shielded.*
- *Any light source over ten (10) feet high shall incorporate cut-off shield. Lights will be shielded.*

Lighting – Parking Lot

- *Lights shall not obstruct vehicular or pedestrian traffic. Lights will not be installed in travel lanes or within walkways.*
- *Poles outside of the public right-of-way shall be a maximum of 14 feet in height. On-site light poles will be required to comply with DC §17.8.755(E)(2)(b).*
- *Concrete light fixture bases taller than 8" are prohibited. Fixture bases will be required to comply with DC §17.8.755(E)(2)(b).*
- *Lights shall be equipped with cut-off fixture to ensure that light does not spill onto adjacent residential property. Lights will be required to comply with DC §17.8.755(E)(2)(b).*

Lighting – Sidewalk and Landscape

- *All bollard, wall or stairway lighting shall be directed exclusively downward. All lighting will be directed downward.*
- *All uplighting fixtures shall be screened by landscaping or concealed within structures or located below or flush with grade. None proposed; not applicable.*
- *No walkway lighting shall exceed 18 feet in height. Light poles will be required to comply with DC §17.8.755(E)(2)(b).*

Lighting – Signs

- *Interior lighted plastic signs are prohibited.* Noted; this will be addressed when the sign permits are requested.
- *Moving or flashing signs are prohibited.* Noted; this will be addressed when the sign permits are requested.

Pole and Monument Signs

- *No more than one (1) pole or free-standing sign shall be allowed per individual business or frontage (whichever is less). All pole signs shall have a minimum clearance of ten (10) feet below the sign and shall have a maximum height of twenty (20) feet. No pole sign shall have a total area of more than forty (40) square feet per face.*
- *The maximum height for a free-standing sign is eight feet.*

Noted; these standards will be addressed when sign permits are requested.

Conclusion: The design guidelines have been adequately addressed.

III. ALTERNATIVES

The Planning Commission may approve the application as submitted, approve it with conditions, continue deliberations to a date certain, or deny this request.

IV. RECOMMENDATION

Based on the information provided in the application and the findings above, staff recommends approval of the application for site design and design review for the proposed Pacific Grove project at 3424-3438 Pacific Avenue and 1943 Oak Street as submitted.

If the Commission determines that the on-site parking could be reduced in number, then staff recommends the following condition:

- Reduce the on-site car park by 11 spaces, consisting of the 2 parallel spaces and the 9 spaces located closest to Poplar Street.

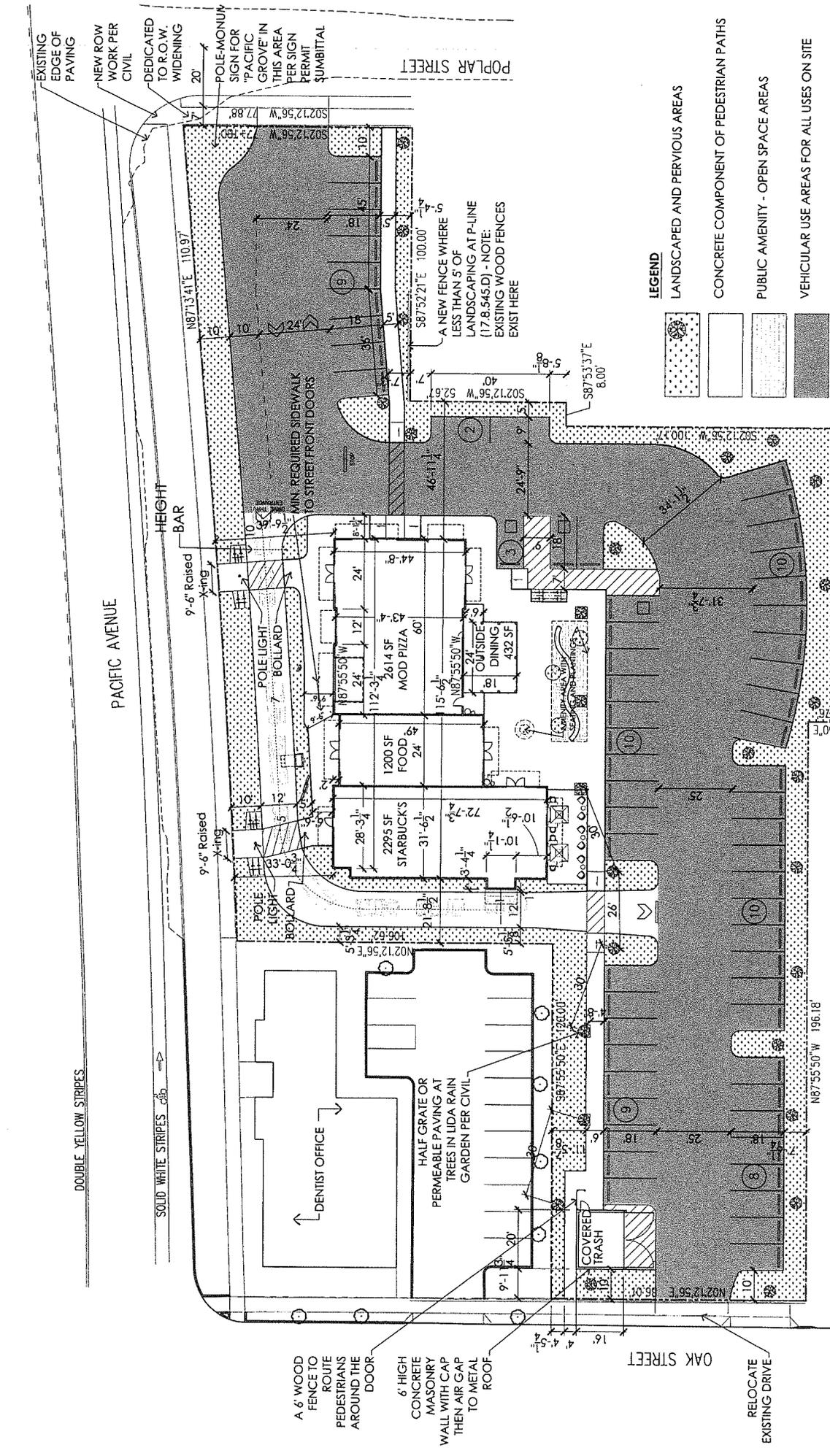
V. LIST OF EXHIBITS

The following exhibits were received, marked, and entered into the record as evidence for this application at the time this staff report was written. Exhibits received after the date of this report will be marked beginning with the next consecutive letter and will be entered into the record at the time the public hearing is opened, prior to oral testimony.

- Exhibit A** Site Plan and Design Review application materials, submitted by the applicant
- Exhibit B** PowerPoint Slides
- Exhibit C** Development Code Standards and Specifications
- Exhibit D** Engineering Department Special Conditions
- Exhibit E** Light and Power Department Conditions
- Exhibit F** Fire Department Conditions

EXHIBIT A

APPLICATION MATERIALS



EXISTING EDGE OF PAVING

NEW ROW WORK PER CIVIL

DEDICATED TO R.O.W. WIDENING 20'

POLE-MONUMENT SIGN FOR "PACIFIC GROVE" IN THIS AREA PER SIGN PERMIT SUBMITTAL

POPLAR STREET

PACIFIC AVENUE

HEIGHT BAR

9'-6" Raised X-ing

9'-6" Raised X-ing

DENTIST OFFICE

2295 SF STARBUCKS

1200 SF FOOD

2614 SF MOD PIZZA

432 SF OUTSIDE DINING

A 6' WOOD FENCE TO PEDESTRIANS AROUND THE DOOR

6' HIGH CONCRETE MASONRY WALL WITH CAP THEN AIR GAP TO METAL ROOF

OAK STREET

RELOCATE EXISTING DRIVE

LEGEND

- LANDSCAPED AND PERVIOUS AREAS
- CONCRETE COMPONENT OF PEDESTRIAN PATHS
- PUBLIC AMENITY - OPEN SPACE AREAS
- VEHICULAR USE AREAS FOR ALL USES ON SITE

ARCHITECTURAL SITE PLAN

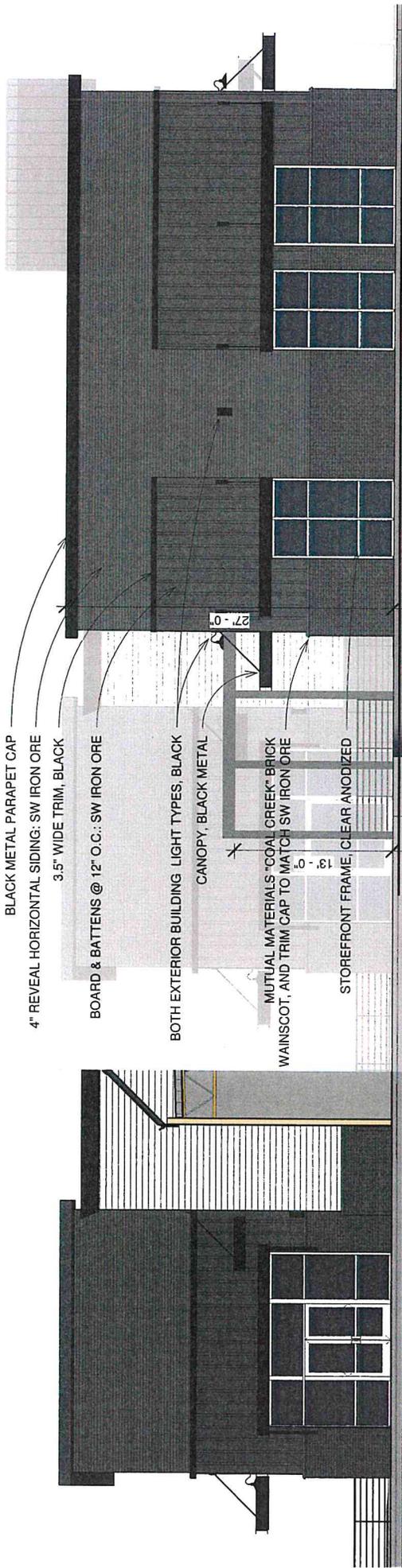
SCALE: 1"=30'



RECEIVED

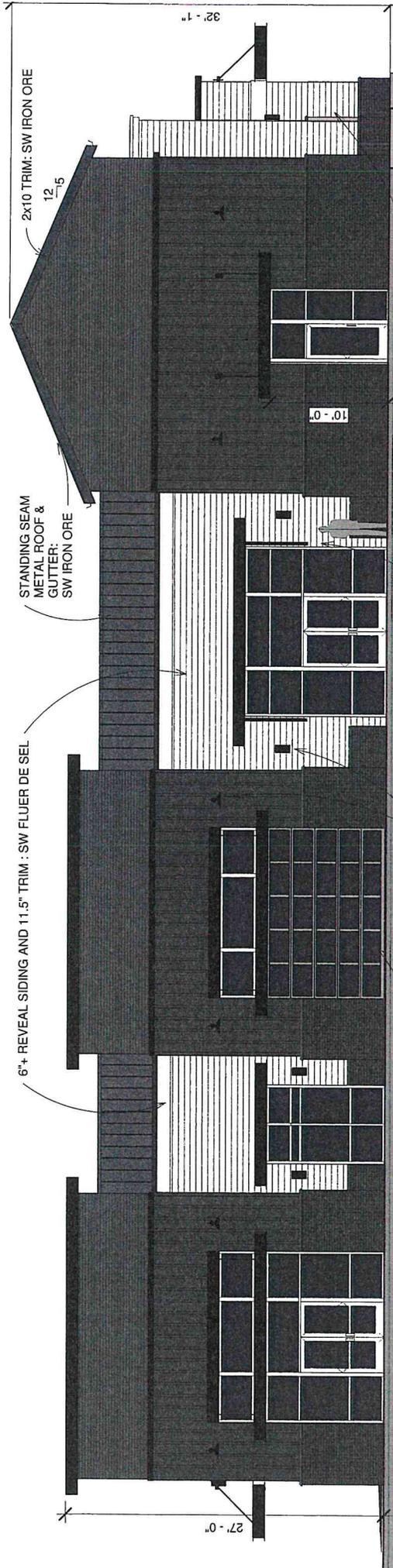
APR 1 0 2020

City of Forest Grove



③ East at Plaza
1/8" = 1'-0"

① East
1/8" = 1'-0"



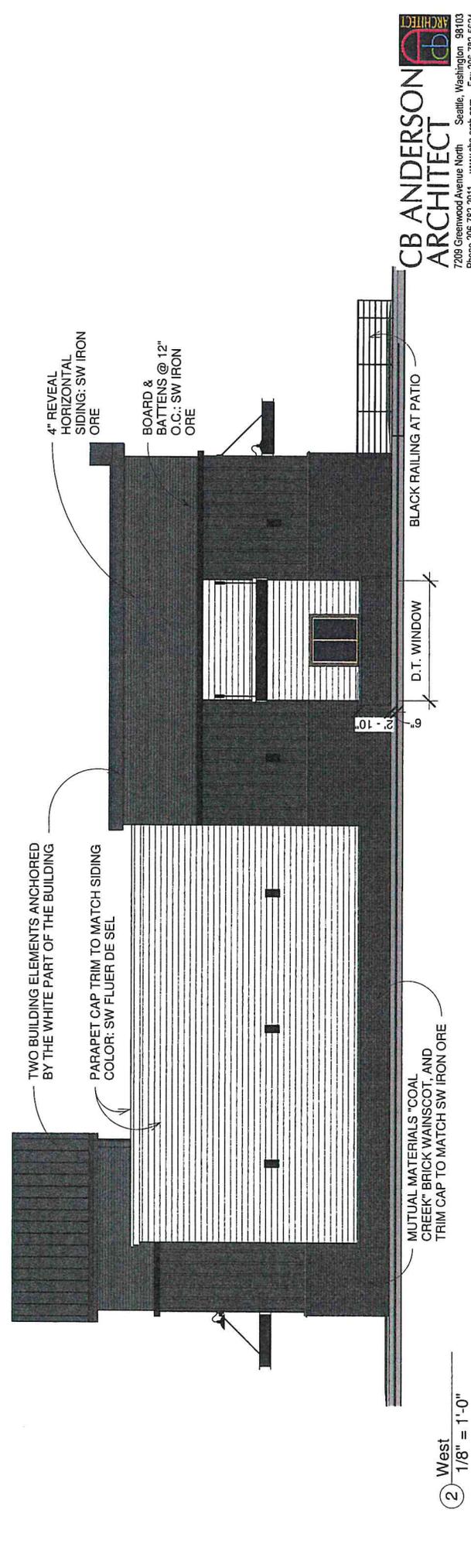
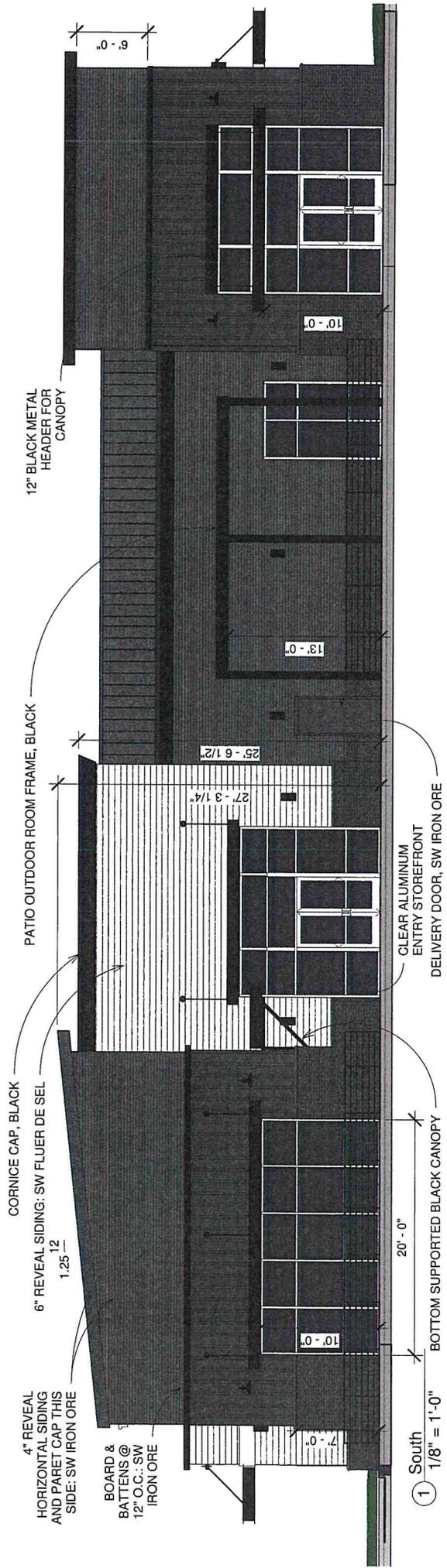
② North
1/8" = 1'-0"

DRIVE-THROUGH BUMP-OUT IN BACKGROUND

BRACKET SUPPORTED CANOPY

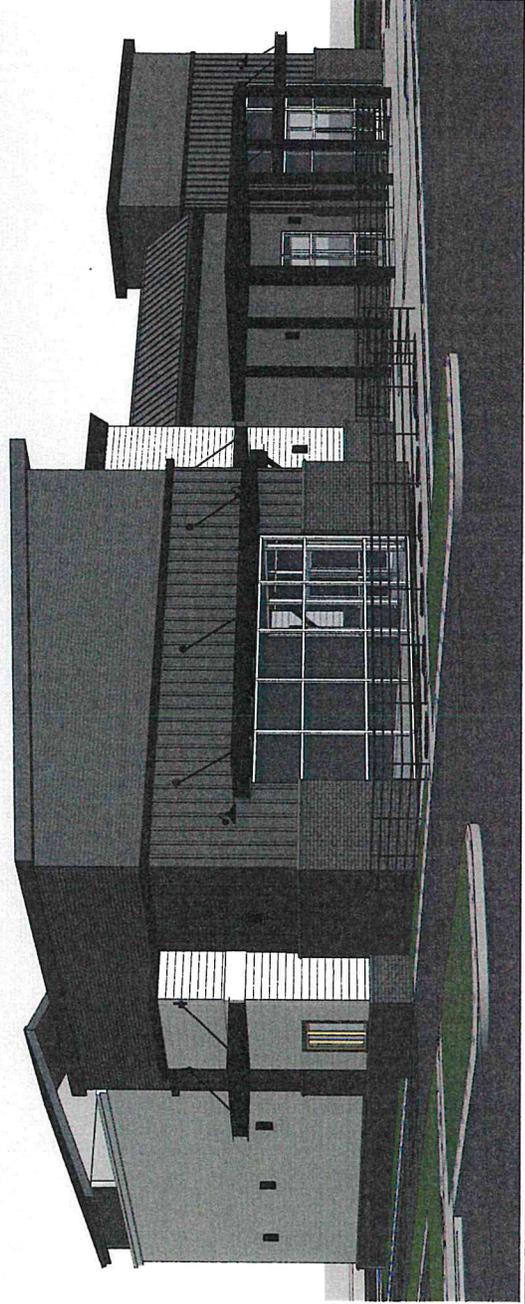
TWO LIGHTING TYPES, BOTH BLACK

OVERHEAD DOOR, FULLY GLAZED





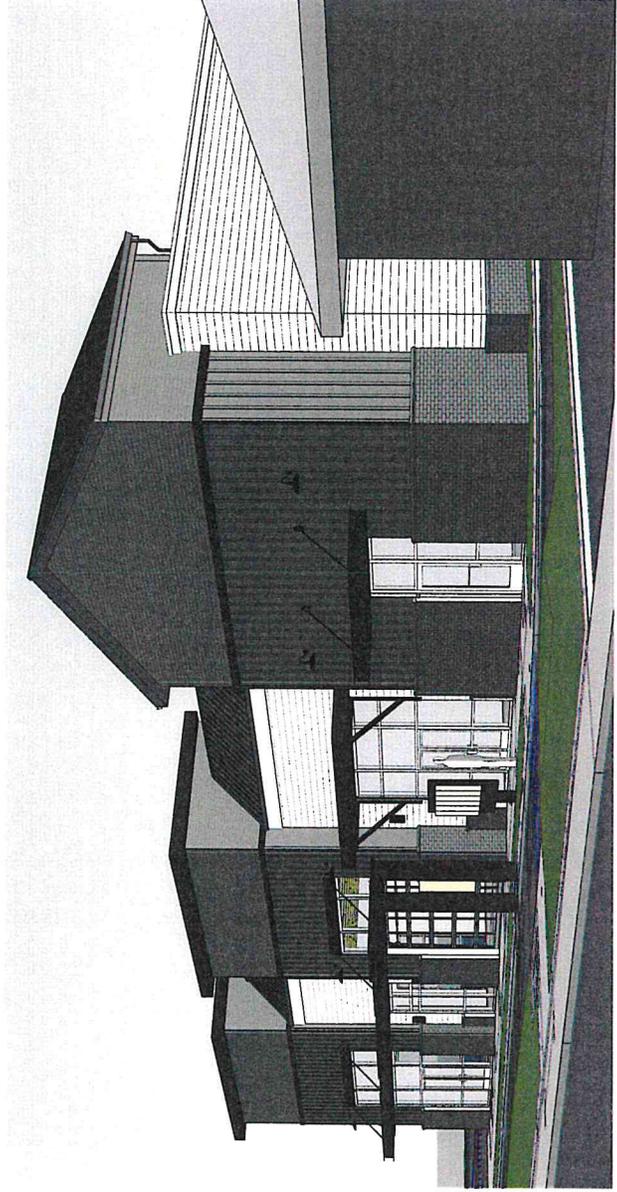
② 3D View 4 FROM SE



① 3D View 3 FROM SW



① 3D View 1 FROM NE



② 3D View 2 FROM NW

PACIFIC AVENUE

OAK STREET

See page C5.12 Detail

MOD PIZZA
2,638 SF

SUITE 2
1,200 SF

STARBUCKS
2,257 SF

LANDSCAPE KEY

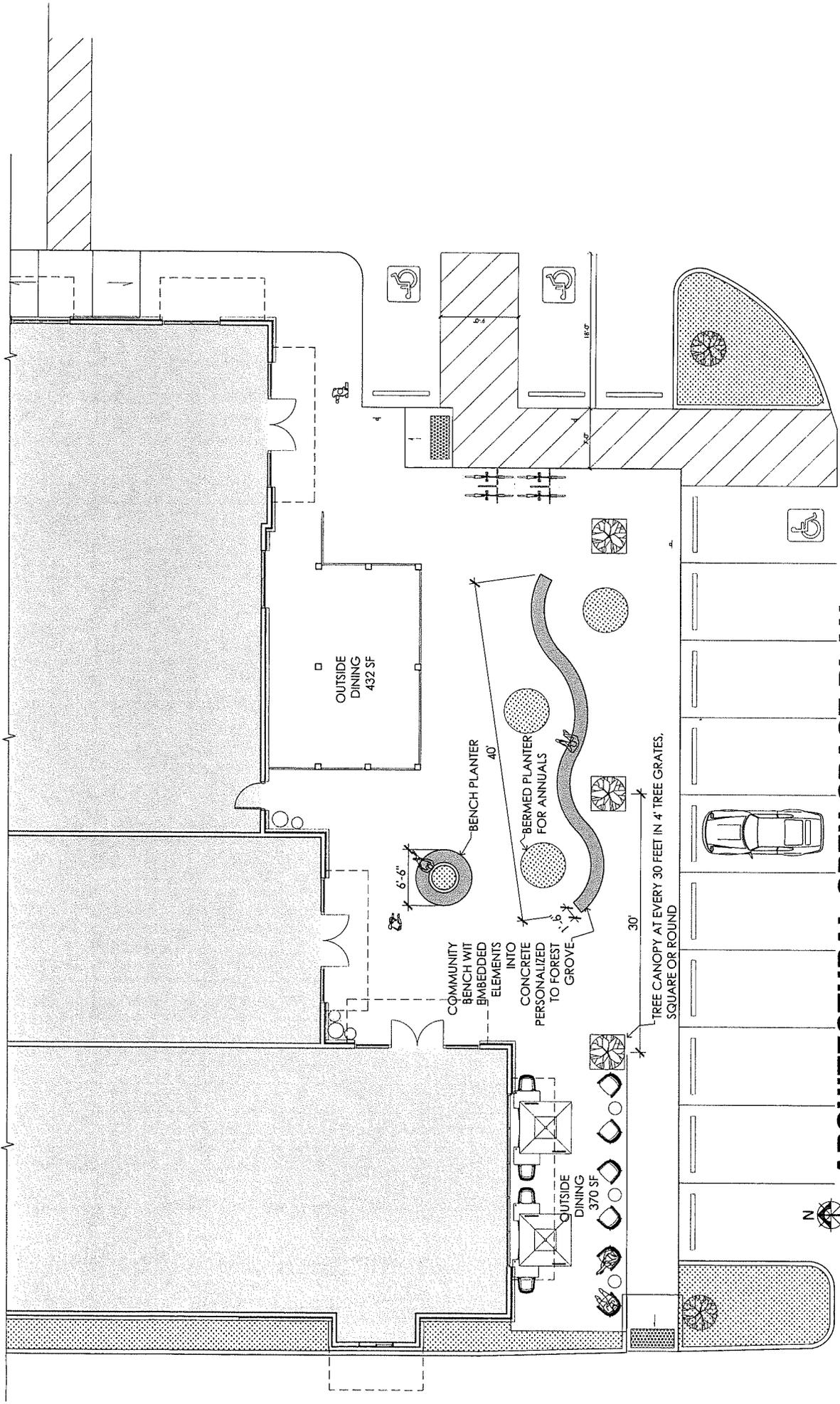
- Black Tupelo Tree #15 gallon
- Pink Flowering Dogwood #15 gallon
- Callery Pear #15 gallon
- #15 Red Sunset Maple #15 gallon
- Emerald Green Athorvicia, 5-6 ft
- Gulf Stream Nandina #15 gallon
- Otto Lyken Laurel #5 gallon
- Hamlin Fountain Grass #1 gallon
- Blue Oats grass #1 gallon

- KEYNOTES**
1. UNPROCESSED PAPER ENCLOSURE - SEE WCHC >
 2. ADA SIGN - MOUNTED ON PCS
 3. ADA SIGN - MOUNTED ON PCS
 4. ADA COMPLIANT CURB RAMP
 5. ADA SQUARE CURB RAMP



See page C5.12 Detail

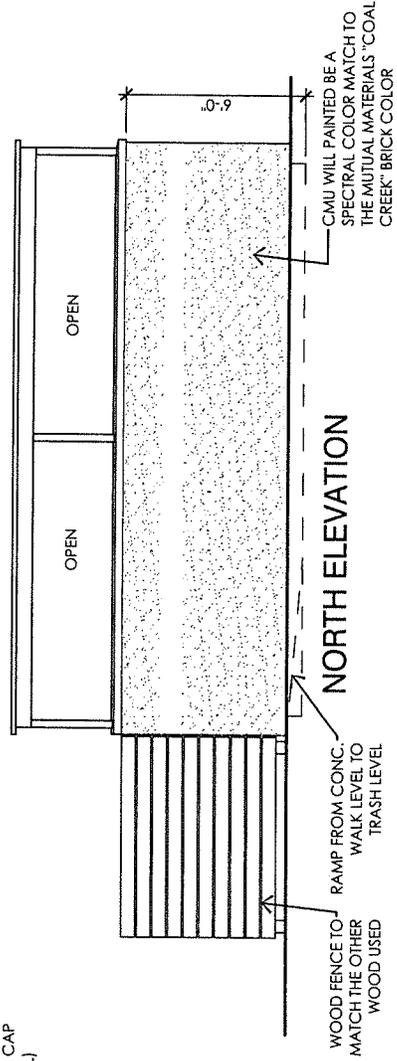
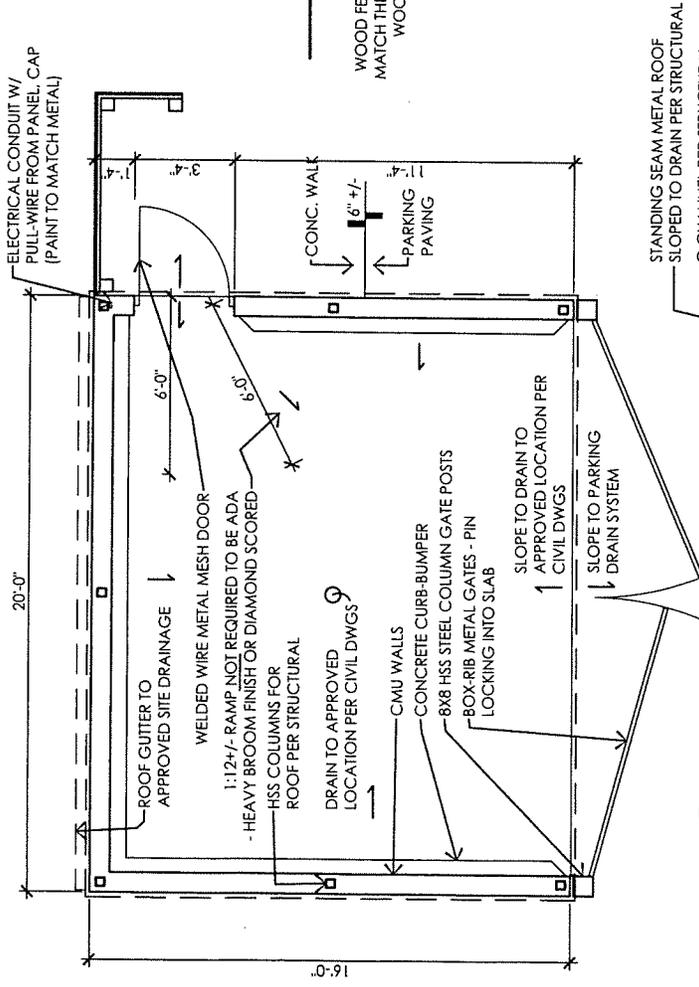




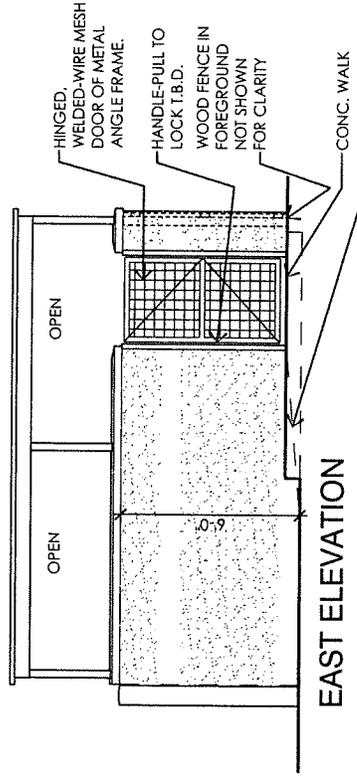
ARCHITECTURAL OPEN SPACE PLAN

SCALE: 1"=10'

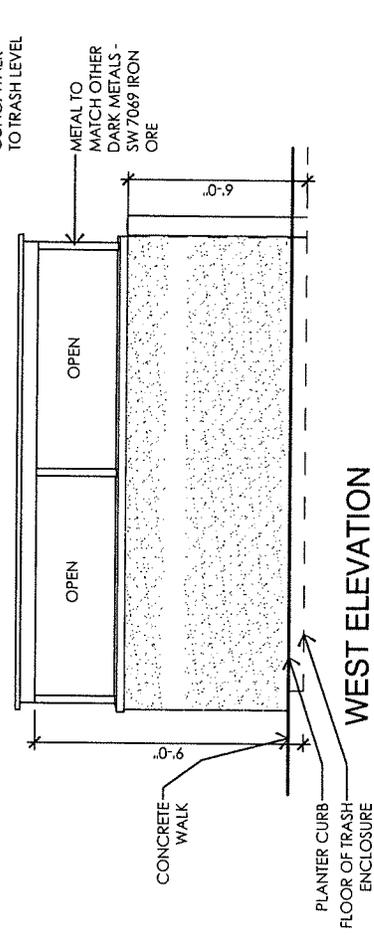




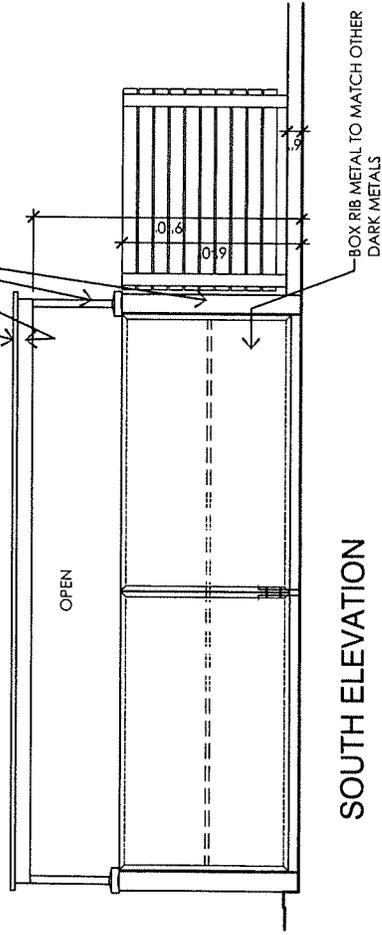
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

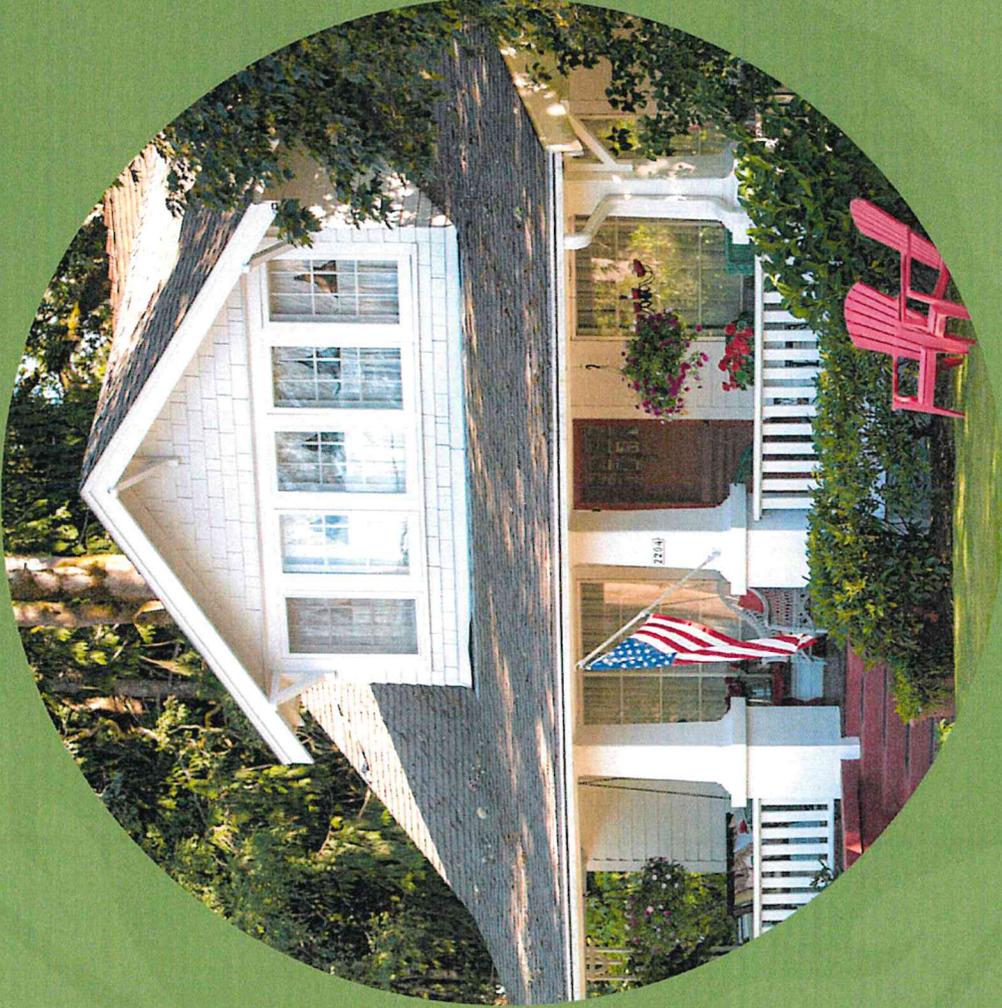
EXHIBIT B

POWERPOINT



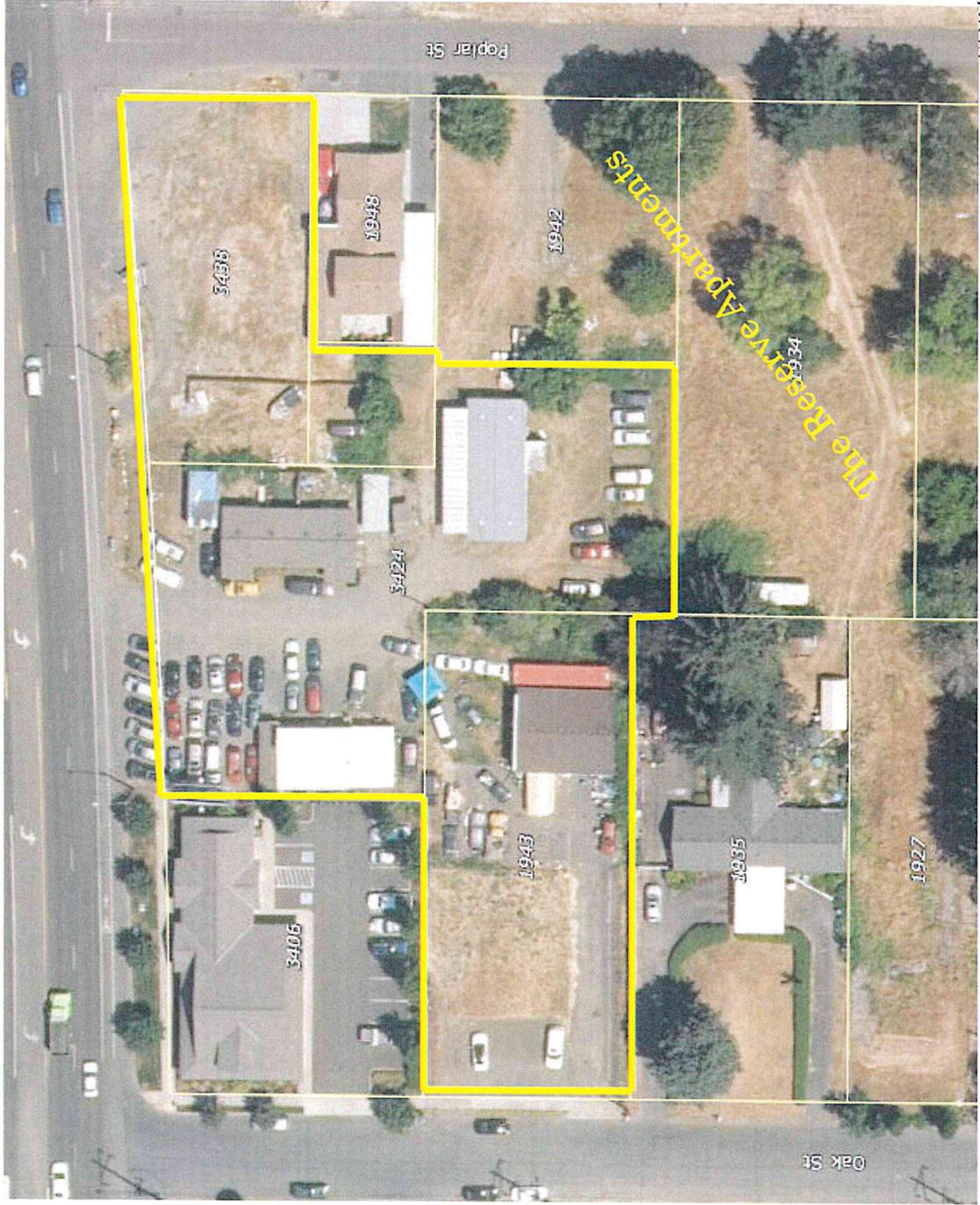
Pacific Grove Site & Design Review

James Reitz, AICP
Senior Planner

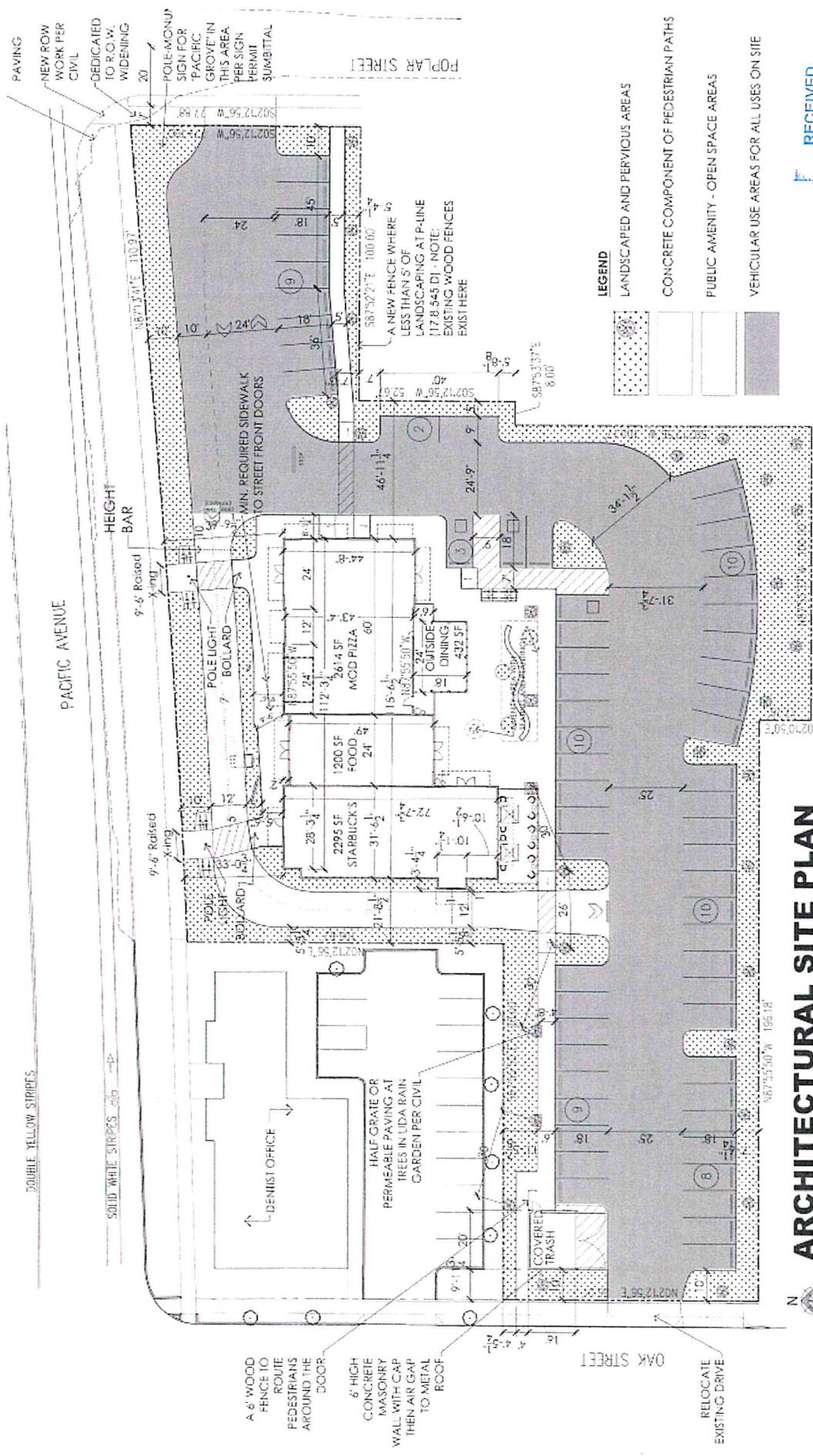


06/15/20

Aerial View – Site & Vicinity



Site Plan



ARCHITECTURAL SITE PLAN



- LEGEND**
- LANDSCAPED AND PERVIOUS AREAS
 - CONCRETE COMPONENT OF PEDESTRIAN PATHS
 - PUBLIC AMENITY - OPEN SPACE AREAS
 - VEHICULAR USE AREAS FOR ALL USES ON SITE

RELOCATE EXISTING DRIVE

COVERED TRASH

OAK STREET

POP LAR STREET

PACIFIC AVENUE

HEIGHT BAR

9'-6" Raised X-ing

POLE LIGHT BOLLARD

MIN. REQUIRED SIDEWALK TO STREET FRONT DOORS

A NEW FENCE WHERE LESS THAN 5' OF LANDSCAPING AT P-LINE EXISTING WOOD FENCES EXIST HERE

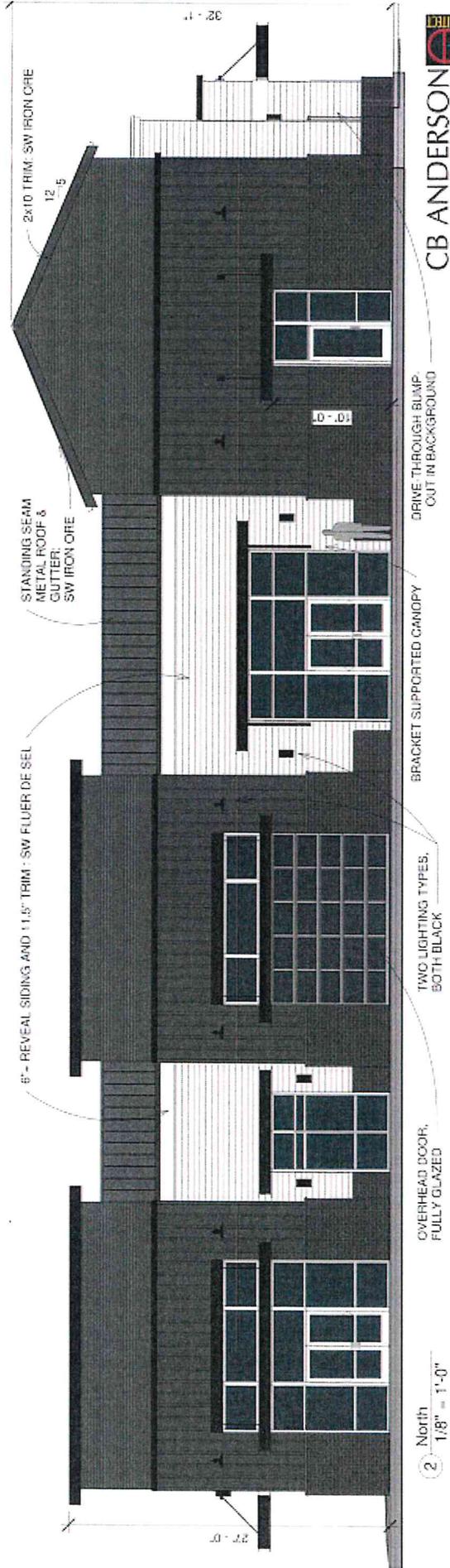
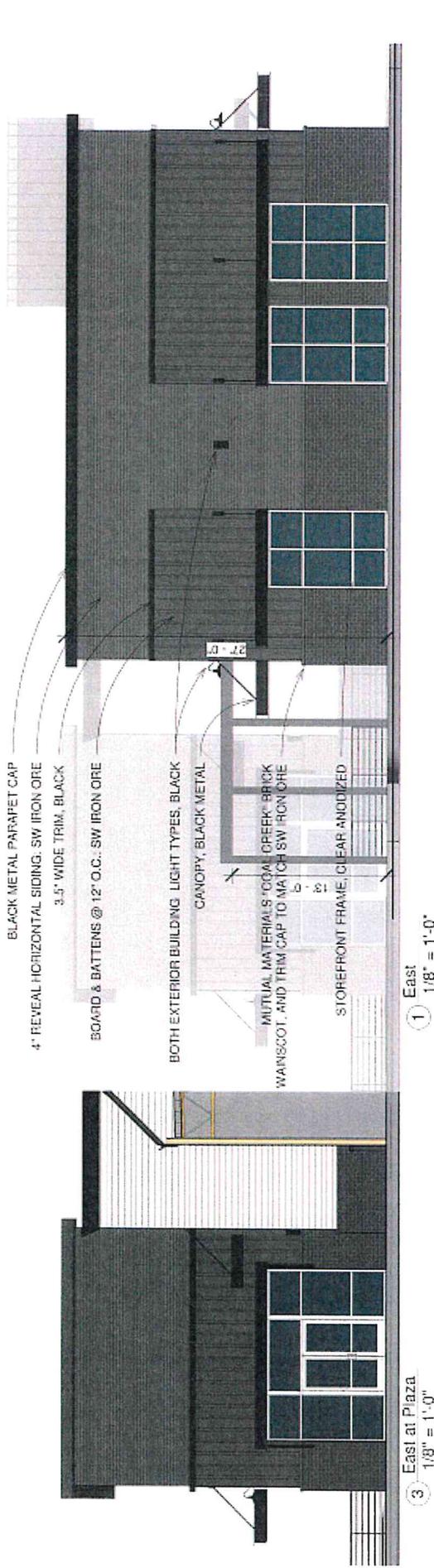
5875337E 6.00'

5875227E 100.00'

Landscape Plan

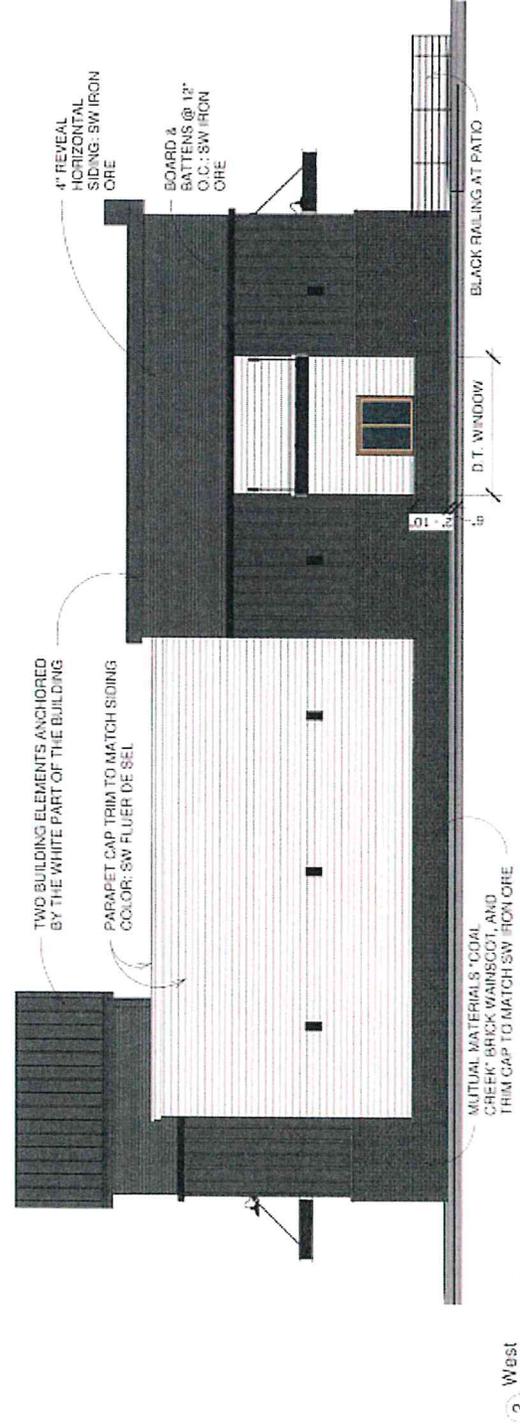
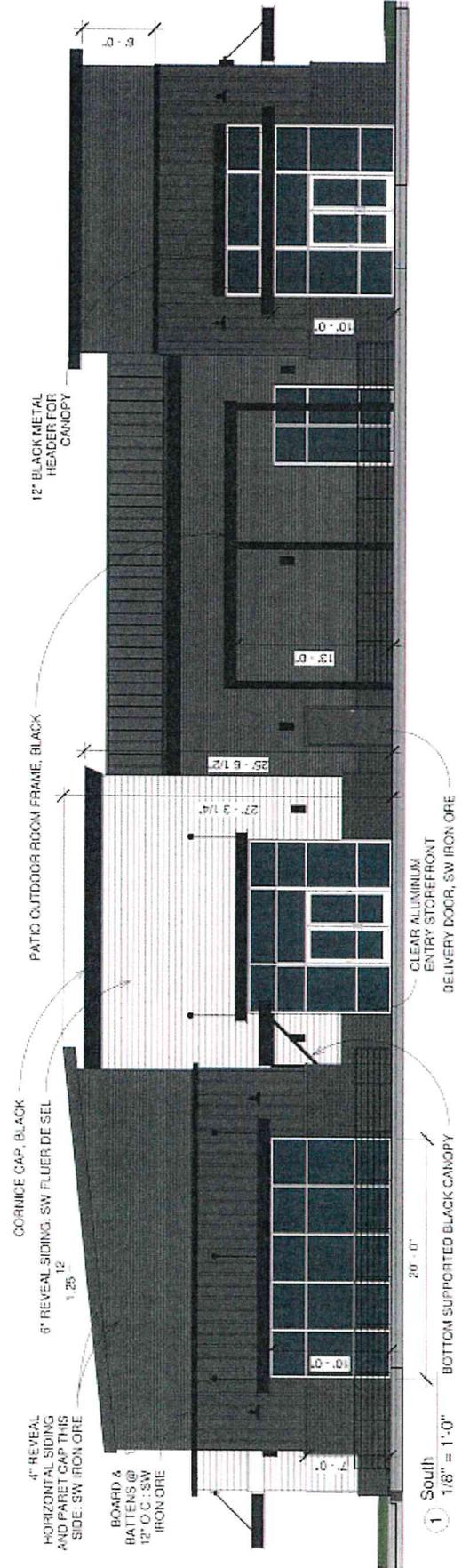


Building Elevations



Pacific Avenue Elevation

Building Elevations



Recommendation

Staff recommends approval of the site plan and design review permit for Pacific Grove with these conditions:

1. The applicant is bound to the project description and all representations made by the applicant during the application and decision-making proceeding.
2. The applicant shall comply with all applicable City building and development standards, including all dimensional standards and public works specifications.
3. **OPTIONAL CONDITION:** Reduce the on-site car park by 11 spaces, consisting of the 2 parallel spaces and the 9 spaces located closest to Poplar Street.

EXHIBIT C – DEVELOPMENT CODE STANDARDS AND SPECIFICATIONS

1. The applicant is bound to the project description and all representations made by the applicant during the application and decision-making proceeding.
2. The applicant must comply with all applicable City and CWS building and development standards, including all dimensional standards and public works specifications, including:
 - (a) Submit a storm water drainage report, and private water quality facility maintenance plan and agreement.
 - (b) Submit a copy of the CWS storm water connection permit.
3. Dedicate right-of-way along Poplar Street to provide a 29-foot half-width (DC §17.8.610 Table 8-7 *Street Standards*).
4. Improve the Pacific Avenue, Oak Street and Poplar Street frontages to City standards including curbs, gutters, sidewalks (including two ADA curb ramps at the Pacific Avenue / Poplar Street intersection) and street trees (DC §17.8.610(A) *Improvements*).
5. Public infrastructure shall comply with City-standard design and construction standards including CWS requirements (DC §17.8.000 and (DC §17.8.005).
6. All utility connections shall be underground (DC §17.8.645(A) *Underground Utilities*).
7. All lighting shall comply with the provisions of DC §17.8.755(C) *Pedestrian Lighting Standards* and §17.8.755(E) *Lighting Standards for Commercial Development*.
8. Prior to any on-site grading, the billboard structure shall be removed, pursuant to DC §17.8.855(A)(3) *Nonconforming Signs*.

EXHIBIT D – ENGINEERING DEPARTMENT SPECIAL CONDITIONS

9. All required permits shall be secured by developer prior to start of construction i.e., both on-site and off-site construction permits.
10. Applicant shall participate in the Poplar Street storm water drainage system reimbursement district (FGC §151.110 et. seq. *Reimbursement Districts*).

EXHIBIT E – LIGHT AND POWER DEPARTMENT CONDITIONS

11. Submit a CAD file of the grading plan showing all wet utilities.
12. A 10-foot-wide public utility easement is required adjacent to the Oak Street and Poplar Street property lines. Additional easements may be required if a loop feed through the property is determined possible and beneficial.
13. Electrical loading and demand will need to be provided by the developer.
14. All lighting within the project site will be customer owned and designed by the developer.
15. The developer will be responsible for all labor and material costs less a credit allowance, to be determined.
16. The developer is responsible for providing and installing all vaults and conduits.

EXHIBIT F – FIRE DEPARTMENT CONDITIONS

17. The building address shall be identified with digits at least 6 inches tall that contrast with their background (FGC §150.098).
18. Provide signage indicating fire sprinkler control room, as approved by the Fire Marshal.
19. The Fire Department Connection (FDC) shall be a 4-inch Starz thread mounted on a 30° or 45° downward angled elbow.