



Site Plan and Design Review Staff Report and Recommendation

Community Development Department, Planning Division

REPORT DATE: July 10, 2020

HEARING DATE: July 20, 2020

LAND USE REQUEST: Site plan approval and design review of a proposed 10-unit apartment building

FILE NUMBERS: 311-20-000108-PLNG & 311-18-000035-PLNG

PROPERTY LOCATION: 2838 19th Avenue

LEGAL DESCRIPTION: Washington County Tax Lot 1S306AA06500

OWNER/APPLICANT: Eiscastle Properties LLC
PO Box 4116
Hillsboro, Oregon 97122

**COMPREHENSIVE PLAN
MAP AND ZONING MAP
DESIGNATIONS:** Community Commercial (CC)
Community Commercial (CC)

**APPLICABLE
STANDARDS
AND CRITERIA:** City of Forest Grove Development Code
§17.3.300 - .340 *Commercial and Mixed Use Zones*
§17.7.045 *Fences*
§17.7.200 et. seq. *Solid Waste and Recycling*
§17.8.000 et. seq. *General Development Standards*

City of Forest Grove Design Guideline Handbook
Focus Area III *Multi-Unit Residential Focus Area*

REVIEWING STAFF: James Reitz (AICP), Senior Planner

RECOMMENDATION: Staff recommends approval with conditions

I. LAND USE HISTORY

The project site is a vacant lot. It had been previously occupied by a single-family home, which was demolished in 2005.

In 2019 the Planning Commission reviewed and approved an application for a 9-unit apartment building on this site. Since then the property has been sold. The new owners have submitted for review a similar - but different - site plan. The location and configuration of the car park (along the east and south property lines) would remain substantially unchanged (see the comparative site plans on p. 3). The differences include:

- 3-bedroom vs. 2-bedroom units
- 10 units vs. 9 units
- Garages instead of carports
- 2 buildings vs. 1 building
- Additional surface parking
- 3 stories vs. 2 stories

Because of these modifications, a new site plan and design review process is required.

Development Code (DC) §17.2.300 et. seq. *Design Review* requires review of new multi-family housing (defined as three or more units). That same section also requires that the Planning Commission review all projects with more than five units. The Commission can act on a request for design review after holding a public hearing pursuant to DC §17.1.600 et. seq. Type III Process.

The application was submitted on June 11, 2020. Public notice for this application was mailed to property owners and residents within 300 feet of the site on June 29, 2020 as required by DC §17.1.617. Notice of this request was also provided to the Plans Review Board, and published in the *News Times*.

Comments and conditions received from the Plans Review Board are listed in Exhibits C-F.

As of the writing of this report, no comments have been received from the public.

Note: This report addresses two concurrent review processes: site review and design review. Staff has examined the proposed site plan for compliance with the standards and specifications of Development Code Article 3 *Zoning Districts* and Article 8 *General Development Standards*. While the Commission's primary responsibility is to review the building and determine how well it complies with the provisions of Design Guideline Handbook *Multi-Unit Residential Focus Area*, it will also need to approve the site plan. Staff's analysis of how the application addresses the design guidelines is below, in Section II(13)(G).

II. PROJECT DESCRIPTION AND ANALYSIS

1. Description of Proposal: The proposal would result in the construction of 10 apartment units in 2 buildings. All would be 3-bedroom units. Each unit would have a single-car garage. There would be 11 surface parking stalls, for a total of 21 on-site spaces. The site would be completely built-out with this project.

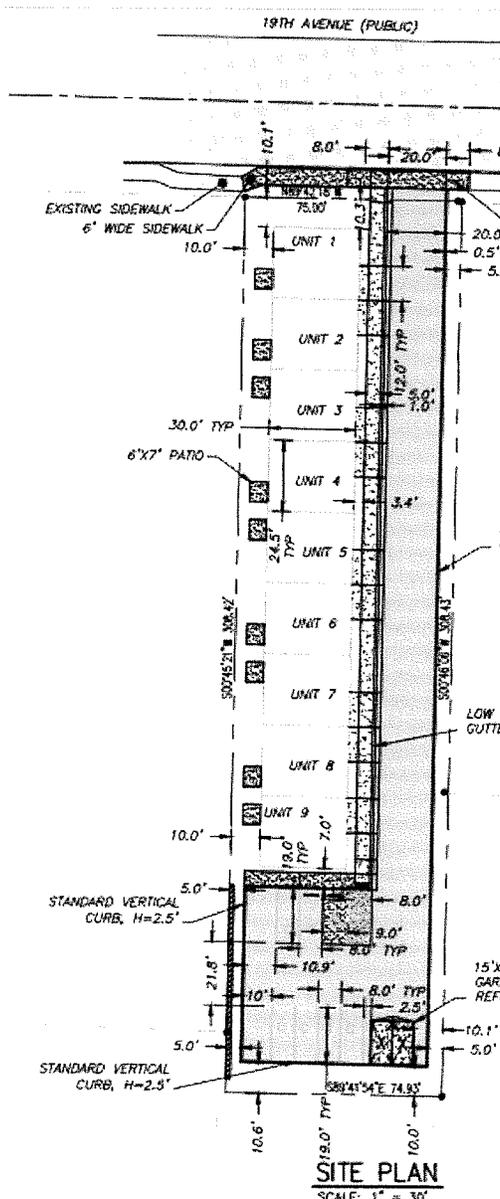
Each building would be 3 stories tall. They would have lap siding on floors 1 and 2, while the 3rd floor would have shake siding on the interior units, and board and batten siding on the end units. The interior unit garage doors would have a row of windows

while the end-unit garages would have windows in a column. Front doors would be similarly differentiated. Windows would be installed in the front and rear (east and west) elevations, but no windows are proposed for the north or south elevations. The front (east) façade would be enhanced with architectural columns and masonry wainscoting.

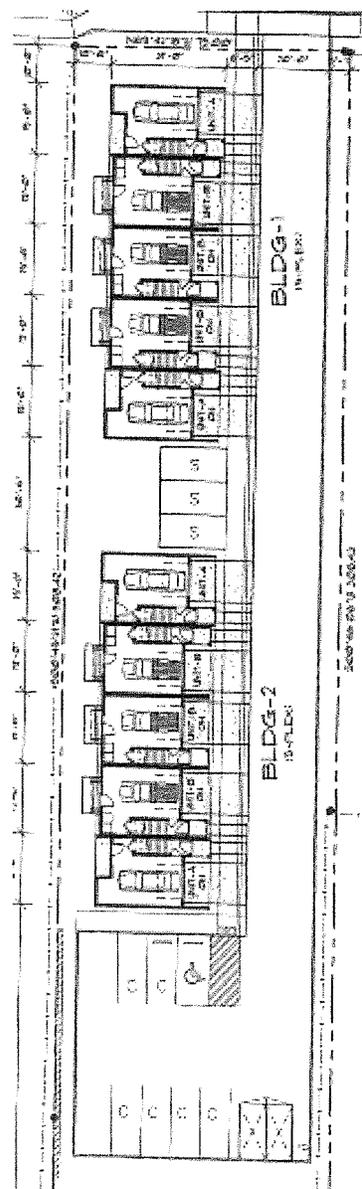
The buildings would be sited on the west side of the property, due to the location of a public utility easement along the east property line that must remain open and accessible. Surface parking and the trash enclosure would be located at the south end of the site; additional surface parking would be provided between the buildings.

A walkway would run parallel to the building and would connect the car park with all the units and the 19th Avenue sidewalk. Each unit would have a patio and a deck.

Below is the site plan approved in 2019 (on the left) and the proposed site plan.



Approved Site Plan



Proposed Site Plan

2. Site Examination: The project site is rectangular and vacant. It is virtually devoid of landscaping. The site slopes away (south) from 19th Avenue. A public sanitary sewer line and a public storm sewer line are located in an easement that abuts the east property line. Further discussion of the site's utilities follows in Public Services section below.

The site is partially fenced. A 6-foot-tall chain link fence with vinyl slats has been erected along the west property line. To the south and east - abutting 2837 and 2907 19th Avenue respectively – is a 6-foot-tall wood good neighbor fence. The abutting properties are all developed with single-story residential structures.



Aerial View of Site and Vicinity

3. Existing Comprehensive Plan Designation and Zoning of Site and Area

LOCATION	COMPREHENSIVE PLAN DESIGNATION	ZONE DISTRICT	LAND USE
Site	Community Commercial (CC)	Community Commercial (CC)	Vacant
North	Community Commercial (CC)	Community Commercial (CC)	Shopping Center
South	Low Density Residential – Standard (LDR-B)	R-7 Single-Family Residential	Single-Family Residential
East	Community Commercial (CC)	Community Commercial (CC)	Single-Family Residential
West	Community Commercial (CC)	Community Commercial (CC)	Apartments

4. Building Setbacks and Height Requirements:

- The site is located in the Community Commercial (CC) zone district. No front, side, or rear setbacks apply. The building would be located about 10 feet from the 19th Avenue right-of-way (north property line), 10 feet from the west property line, 75 feet from the south property line, and 35 feet from the east property line. The trash enclosure is proposed to be located about 5 feet from the east and 10 feet from the south property lines.
- The height limit in the CC zone district is 45 feet. The height of the proposed apartment buildings would be about 31 feet 3 inches at the roof peak.

As there are no setbacks required in the CC zone district, and the building height would be less than the maximum allowed, staff concludes that these provisions have been met.

5. Density: Site area is 0.53 acres. In the CC zone district, the minimum and maximum density is 16.22 to 30.00 DUA respectively. With 0.53 acres, the allowable density would be between 9 units (rounded up from 8.60) and 16 units (rounded up from 15.90). This application proposes 10 units. This criterion is satisfied.

6. Compatibility: The site abuts properties in various residential uses (see below for a vicinity and address map) -

- 2828 19th Avenue (to the west) is developed with apartments. They appear to be located about 5 feet off the common property line.
- 2902 19th Avenue (to the east) is developed with a single-family home. Because this site is also located in the CC zoning district, its eventual redevelopment with more intensive uses seems likely.
- 2837 18th Avenue (to the south) is developed with a single-family home. It is located in the R-7 zoning district; no further development is likely.
- 2907 18th Avenue (to the southeast) is developed with two duplexes. The area closest to the common property line is developed with a driveway and surface parking. The site is located in the R-7 zoning district; no further development would be permitted under current Development Code standards.
- The boundary between the CC and R-7 zoning districts abuts the south property line and the southerly segments of the east and west property lines. DC §17.8.425 et. seq. *Buffering and Screening Standards* thus requires additional landscaping to minimize impacts on the adjacent single-family zone. Buffering

will be required along the south property line in compliance with Table 8-3(D)(3) i.e. a minimum 6-foot-tall wall and a 10-foot-wide landscape area. Staff is not recommending buffering along the west property line because the length of the segment would be incidental, nor along the east property line since it is already developed with apartments.

- Development of a vacant site with an apartment complex might result in off-site noise impacts. If noise issues do arise, FGC §91.030 et. seq. *Noise Regulations* regulates the intensity of allowable noise in both daytime and evening hours. FGC §91.034 *Maximum Permissible Sound Levels* caps the allowable volume in Noise Sensitive Areas (i.e., areas within residential and institutional zones) at 60 db during the daytime (7 a.m. to 10 p.m.) and 50 db at night (10 p.m. to 7 a.m.) Because the City has an existing ordinance in place to respond to potential noise complaints, staff concludes that there should be no significant neighborhood noise compatibility issues.
- On-building lights are proposed. The Development Code will require compliance with the provisions of DC §17.8.755(C) *Luminous Standards* and DC §17.8.755(D) *Lighting Standards for Multi-Unit Development*.

Summary and conclusion: With the requirement to install a landscape buffer along the south property line, the new apartment buildings would be compatible with surrounding development.

7. Traffic and Circulation: The site would be served by a single driveway, taking access from 19th Avenue. DC §17.8.120(C) regulates minimum driveway width for multi-family dwellings; for two-way traffic the minimum width required is 20 feet. The proposed driveway would be 20 feet wide, in compliance with the requirement.

According to the ITE *Trip Generation Report 10th Edition*, each apartment unit would generate 6.65 Average Daily Trips (ADT). With 10 units, 66.50 trips per day would be expected. This number might be reduced because the site abuts 19th Avenue, which means the residents would have access to frequent transit service and thus might be driving less than the ITE report forecasts. In addition, because the site is located across the street from a shopping center anchored by a large grocery store, vehicular shopping trips for groceries may also be reduced. Because the site has access to transit, is located on an Arterial street, and the anticipated traffic generation has already been accounted for in the TSP, no approval conditions appear necessary.

8. Sidewalks and Pedestrian Walkways:

- The existing 5-foot-wide curb-tight sidewalk along 19th Avenue is in disrepair and needs to be replaced. Current City standards stipulate a minimum 6-foot width for curb-tight sidewalks. The applicant will be required to install a City-standard sidewalk concurrent with this project.
- A concrete pedestrian walkway is proposed along the east side of the building. It would connect the car park south of the building to the 19th Avenue sidewalk on the north. DC §17.8.115(4) requires a minimum walkway width of four feet; the proposed walkway would be at least five feet wide.

Summary and conclusion: With the requirements noted above, pedestrian access requirements would be met.

9. Parking: DC §17.8.515 Table 8-5 *Parking Requirements* regulates the minimum number of parking stalls required (there are no maximums for residential uses). For

multi-family housing, 1.75 spaces are required for each 3-bedroom unit. With ten 3-bedroom units, 18 parking spaces would be required.

There are 21 parking spaces proposed on-site: 10 single-car garages and 11 surface stalls (including one ADA accessible space). With 75 feet of frontage onto 19th Avenue, less the 20-foot-wide driveway area, 2 on-street spaces would also be available adjacent to the site. DC §17.8.510(H) states that "Parking spaces available along the public street frontage or alleys are eligible in fulfilling parking requirements, except for single family dwellings and duplexes." Including the on-street spaces, 23 parking stalls would be available overall, which would exceed the minimum number of spaces required.

10. Environmental Quality: There is no City record of any prominent environmental conditions. Runoff from new impervious surfaces would be treated in the on-site water quality facility. Additional landscaping is proposed to be installed (see below) that may improve air quality and reduce glare and heat.
11. Open Space and Landscaping: DC §17.8.205 requires that all multi-family dwellings with 20 or more units provide a children's play area, surrounded by a fence at least 30 inches high. Because this complex would have only 10 units, these provisions would not apply.

Proposed landscaping would be grass and native shrubs. The project will be required to comply with DC §17.8.415 *Landscaping General Standards* and DC §17.8.420(B) *Landscaping Required in the Community Commercial Zone*, in addition to the landscaping required in the buffer area as stipulated by DC §17.8.425 et. seq. *Buffering and Screening Standards* Table 8-3(D)(3) noted above.

12. Public Services: The application has been reviewed by the Building, Engineering, Fire, Light and Power, Police, and Public Works departments. Specific comments and conditions are listed in Exhibits C-F.
13. Site Development Approval Criteria: DC §17.2.450 *Site Development Review Criteria* are as follows:

The Planning Commission shall review and approve, conditionally approve, or deny the site development plan based on the following criteria:

- A. The site development plan complies with all applicable standards of the base zoning district, any overlay district, and the applicable general development standards of Article 8.

Finding: The site is located in the Community Commercial (CC) zone district. No front, side, or rear setbacks apply. The buildings would be located about 10 feet from the 19th Avenue right-of-way (north property line), 10 feet from the west property line, 75 feet from the south property line, and 35 feet from the east property line. The trash enclosure is proposed to be located about 5 feet from the east and about 10 feet from the south property lines.

Finding: The height limit in the CC zone district is 45 feet. The height of the proposed apartment building would be about 31 feet 3 inches at the roof peak.

Finding: Site area is 0.53 acres. In the CC zone district, the minimum and maximum density is 16.22 to 30.00 DUA respectively. With 0.53 acres, the

allowable density would be between 9 units (rounded up from 8.60) and 16 units (rounded up from 15.90). This application proposes 10 units.

Finding: The site would be served by a single driveway, taking access from 19th Avenue. DC §17.8.120(C) regulates minimum driveway width for multi-family dwellings; for two-way traffic the minimum width required is 20 feet. The proposed driveway would be 20 feet wide, in compliance with both the minimum and maximum driveway width requirements.

Finding: DC §17.8.515 Table 8-5 *Parking Requirements* regulates the minimum number of parking stalls required (there are no maximums for residential uses). For multi-family housing, 1.75 spaces are required for each 3-bedroom unit. With ten 3-bedroom units, 18 parking spaces would be required.

There are 21 parking spaces proposed on-site: 10 single-car garages and 11 surface stalls (including one ADA accessible space). With 75 feet of frontage onto 19th Avenue, less the 20-foot-wide driveway area, 2 on-street spaces would also be available adjacent to the site. DC §17.8.510(H) states that "Parking spaces available along the public street frontage or alleys are eligible in fulfilling parking requirements, except for single family dwellings and duplexes." Including the on-street spaces, 23 parking stalls would be available overall, which would exceed the minimum number of spaces required.

Summary and Conclusion: As the proposed density, setbacks, building heights, access and parking would meet or exceed Development Code standards, these provisions have been met.

B. The site development plan ensures reasonable compatibility with surrounding uses as it relates to the following factors:

1. Building mass and scale do not result in substantial visual and privacy impacts to nearby residential properties; and

Finding: The site is located in the Community Commercial (CC) zoning district; no front, side, or rear setbacks apply except along the boundary between the CC and R-7 zoning districts. To comply with the provisions of DC §17.8.425 Table 8-3(D)(3), the applicant will be required to install a buffer along the site's south property line, including a 6-foot-tall wall and a landscape area at least 10 feet wide.

Finding: The height limit in the CC zone district is 45 feet. The height of the proposed apartment buildings would be about 31 feet 3 inches at the roof peak.

Finding: The design of the trash enclosure will have to comply with the provisions of DC §17.7.205 et. seq. *Solid Waste Recycling and Storage*. In addition, to minimize views into the enclosure from the second floor and above of adjacent buildings, a roof over the enclosure will be required.

Summary and Conclusion: With the condition noted above, there should not be any substantial visual or privacy impacts on nearby residential properties.

2. Proposed structures, parking lots, outdoor use areas or other site improvements that could cause substantial off-site impacts such as noise, glare and

odors are oriented away from nearby residential uses and/or adequately mitigated through other design techniques.

Finding: As a residential project, off-site noise impacts are not anticipated. However, should noise become a complaint issue, the City does have in place a noise control ordinance that could be used to abate the nuisance.

Finding: The trash and recycling enclosure would be located at least 25 feet from the nearest house (located at 2837 18th Avenue). It would be further separated from this house by a 6-foot-tall wall and landscaping.

Finding: Site lighting shall be required comply with the provisions of DC §17.8.750(C) and (D).

Summary and Conclusion: Substantial off-site impacts such as noise, glare and odors are not anticipated as a result of this project.

- C. The site development plan preserves or adequately mitigates impacts to unique or distinctive natural features including, but not limited to:
1. Significant on-site vegetation and trees;
 2. Prominent topographic features; and
 3. Sensitive natural resource areas such as wetlands, creek corridors and riparian areas.

Finding: No sensitive natural resource areas or prominent topographic features exist on the site. This criterion does not apply.

- D. The site development plan preserves or adequately mitigates impacts to designated historic resources.

Finding: No designated historic resources are present on or adjacent to the site. This criterion does not apply.

- E. The site development plan provides adequate right-of-way and improvements to abutting streets to meet the street standards of the City. This may include, but not be limited to, improvements to the right-of-way, sidewalks, bikeways, and other facilities needed because of anticipated vehicular and pedestrian traffic generation.

Finding: The existing 5-foot-wide curb-tight sidewalk along 19th Avenue is in disrepair and needs to be replaced. Current City standards stipulate a minimum 6-foot width for curb-tight sidewalks. The applicant will be required to install a City-standard sidewalk concurrent with this project. No additional right-of-way, bikeways or other facilities for vehicular and pedestrian traffic are needed.

Finding: According to the *ITE Trip Generation Report 10th Edition*, each apartment unit would generate 6.65 Average Daily Trips (ADT). With 10 units, 66.50 (rounded up to 67) trips per day would be expected. This number might be reduced because the site abuts 19th Avenue, which means the residents would have access to regularly-scheduled transit service and thus might be driving less than the ITE report forecasts. In addition, because the site is located across the street from a shopping center anchored by a large grocery store, vehicular shopping trips for groceries may also be reduced. Because the site has access to

transit, is located on an Arterial street, and the anticipated traffic generation has already been accounted for in the Transportation System Plan (TSP), no approval conditions appear necessary.

- F. The site development plan promotes safe, attractive and usable pedestrian facilities that connect building entrances, public sidewalks, bicycle and auto parking spaces, transit facilities, and other parts of a site or abutting properties that may attract pedestrians.

Finding: DC §17.8.115(4) requires a minimum walkway width of 4 feet. A 5-foot-wide concrete pedestrian walkway would connect each unit to the car park and to the public sidewalk.

- G. Design Review Criteria: Projects subject to design review by the Director (Type II) or the Design Review Commission (Type III) shall be evaluated based on the following:

- A. The development standards of the applicable zoning district and any overlay district;
- B. The general development standards of Article 8.
- C. Departures from code requirements may be permitted as part of a Track 2 Design Review Process, when the following criteria are met:
1. The design guidelines contained in the applicable section of the "Design Guideline Handbook" are adequately addressed.
 2. The applicant demonstrates that the overall development would result in a development that better meets the intent of the design guidelines than a design that simply meets the Code.

The Design Guideline Handbook Section III *Multi-Unit Residential Design Guidelines* has two options for design review: Track 1 *Development Standards* and Track 2 *Design Guidelines*. The following analyzes the application compared to Track 1 standards unless otherwise noted.

Site – Circulation

- *Continuous pedestrian connections required* – A pathway is proposed that would connect the building and car park with the public sidewalk.
- *Pathways at least 10 feet from dwellings* – Due to the narrow width of the lot, it is not possible to install a two-way driveway and perimeter landscaping and still maintain a 10-foot-wide separation between the building and the pathway.
- *The minimum pathway width of 5 feet* – The pathway would be 5 feet in width.

Site – Parking

- *Include 18-foot-wide landscape planter bays in parking areas > 10,000 square feet* – The proposed car park would not exceed 10,000 square feet in area, therefore, this provision does not apply.
- *Sidewalk system shall connect all front doors to the car park* – A walkway would be provided to connect all front doors to the car park.

Site – Pedestrian Environment

- *Residential front doors shall be setback at least 2 feet from the public sidewalk* – The building would not front a public sidewalk; this provision does not apply.
- *Primary entrance doors shall not be sliding glass, or solid metal without glazing* – Entry doors will be standard doors, with glazing.

- *Residential porch height < 4 feet* – No porches are proposed.
- *Residences with entry porches: porches shall be not be less than 40 square feet.* No entry porches are proposed.
- *Residences shall not be < 4 feet below grade* – The building will be erected at grade.

Site – Screening / Service Areas

- *All mechanical equipment shall be screened* – The apartment units will have standard residential-sized appliances located inside. Additional mechanical equipment will also be located within the building.
- *Service / refuse collection areas shall be not < 20 feet from the right-of-way* – The refuse collection area is proposed to be located more than 200 feet from the 19th Avenue right-of-way, near the south property line.
- *Refuse collection area to be screened from above* – Because the buildings would be 3 stories tall, a roofed enclosure will be required.
- *All rooftop mechanical equipment shall be screened* – None proposed; not applicable.

Site – Landscaping

At least 75% of required landscaped areas shall be planted; at most 25% of required landscaped areas shall be hardscaped – The site totals 0.53 acres, or 23,132 square feet. DC §17.8.205(D)(1) requires that 20% of the lot – excluding the car park and driveways – be maintained as open space. The non-car park area totals about 11,700 square feet. The applicant proposes to set aside 4,800 square feet (approximately 40%) as yard and open space. Additional area will be set aside to comply with Buffering and Screening standards. Landscaping would include trees, shrubs, groundcover, and turf.

Site – Crime Prevention Through Environmental Design

- *Plant materials by entries shall be < 5 feet in height by the entry* – No landscaping would be installed near the building entries.
- *Window areas facing common spaces, paths, and parking areas shall be at least 25 square feet each* – Window units vary in dimension. They would not face the common space and car park located south of the buildings or the car park between the buildings, nor would they face the street. To comply with this section, windows will be required to be installed in the building elevations facing the car parks and the street.
- *Entries shall be lighted* – All entries would be illuminated with one or more wall lights.
- *Gated residential areas are prohibited* – No gates are proposed.
- *Motion-activated lighting by the street is prohibited* – No motion-activated lights are proposed.

Site – Open Space

- *At least 25% of the lot (excluding parking areas) shall be landscaped* – Complies. The site totals 0.53 acres, or 23,132 square feet. The non-car park area totals about 11,700 square feet. The applicant proposes to set aside about 4,800 square feet (approximately 40%) as yard and open space. Additional area will be set aside to comply with Buffering and Screening standards. Landscaping would include trees, shrubs, groundcover, and turf.
- *Apartment complexes with six units or more shall provide 100 square feet of recreation space per unit* – No specific Development Code section includes this provision, nor is what constitutes “recreation space” defined. With 10 units, 1,000 square feet of recreation space would be necessary. As noted above, the site will

have about 4,800 square feet of yard and open space. Each unit will also have a back patio, and a 60-square-foot deck.

- *Apartment complexes with 21 or more units shall have a children's play area – Not applicable, as this project would have only 10 units.*
- *At least 50 square feet of private open space shall be provided per unit – Each unit would have a patio, and a 60-square-foot deck.*
- *Private open space shall be separated from common open space with landscaping, fencing, or grade changes (including balconies) – The patios on the west side of the building would be separated from the common area on the south side and between the buildings.*

Building – Massing and Form

- *Building dimensions > 150 feet shall have a minimum 3-foot off-set – Not applicable, as each building would be less than 100 feet long and 30 feet deep.*
- *Every two dwelling units shall be off-set from the next by at least 4 feet – Due to the narrow lot width and space taken for the public utility easements, required two-way driveway and walkway, and the required perimeter landscaping, no offset is proposed. Because the lot is so narrow and constrained, no mitigation measures are proposed.*
- *All habitable rooms shall have a window facing the car park and common areas – Habitable rooms with windows would face the face the driveway but not the car parks, street, or common areas. The project will be required to provide windows in both buildings to provide this visibility.*

Building – Compatibility

- *All buildings shall have a defined entry space of at least 16 square feet – Entry spaces would be at least 25 square feet.*

Building – Safety

- *Line-of-sight shall be maintained between the building entries and the sidewalk or car park – Complies.*

Building – Privacy

- *Building entries shall be at least 3 feet from sidewalks and walkways – The distance from all entry doors to the walkway would be at least 5 feet.*
- *Bedroom and bathroom windows shall be off-set at least 4 feet from windows on adjacent buildings (unless privacy glazing is used) – Bathrooms would have no windows.*

Site – Lighting

- *All unit entries and walkways shall be lighted – All entry areas will be lit.*
- *Light poles shall not exceed 18 feet in height – required by DC §17.8.750(D) Lighting Standards for Multi-Unit Development. The project will be required to comply with the provisions of DC §17.8.750(C) and (D).*
- *Concrete bases shall not exceed 8 inches in height – required by DC §17.8.750(D). The project will be required to comply with this section.*
- *Cut-off shields shall be installed – Required by DC §17.8.750(D).*
- *Plastic interior-lighted signs are prohibited – Complies, as none are proposed.*

Signs –

- *Residential nameplates allowed – None proposed.*

Conclusion: The overall intent of this section has been met.

III. ALTERNATIVES

The Planning Commission may approve as submitted, approve with conditions, continue deliberations to a date certain, or deny this request.

IV. RECOMMENDATION

Based on the information provided in the application and the findings above, staff recommends approval of the application for site design and design review for the proposed apartment building at 2838 19th Avenue, with the following condition:

1. All habitable rooms facing a car park or 19th Avenue shall have a window.

V. LIST OF EXHIBITS

The following exhibits were received, marked, and entered into the record as evidence for this application at the time this staff report was written. Exhibits received after the date of this report will be marked beginning with the next consecutive letter and will be entered into the record at the time the public hearing is opened, prior to oral testimony.

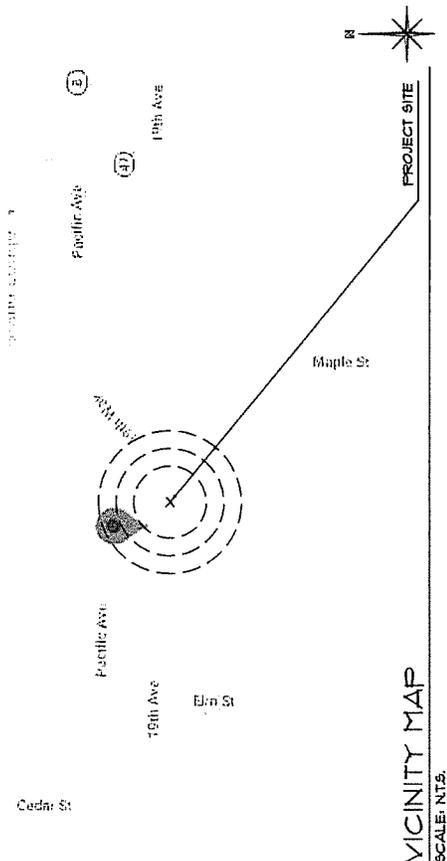
- Exhibit A** Site Plan and Design Review Application Materials
- Exhibit B** PowerPoint
- Exhibit C** Development Code Standards and Specifications
- Exhibit D** Engineering Department Special Conditions
- Exhibit E** Light and Power Department Conditions
- Exhibit F** Fire Department Conditions

EXHIBIT A

APPLICATION MATERIALS

THE FOREST GROVE APARTMENTS

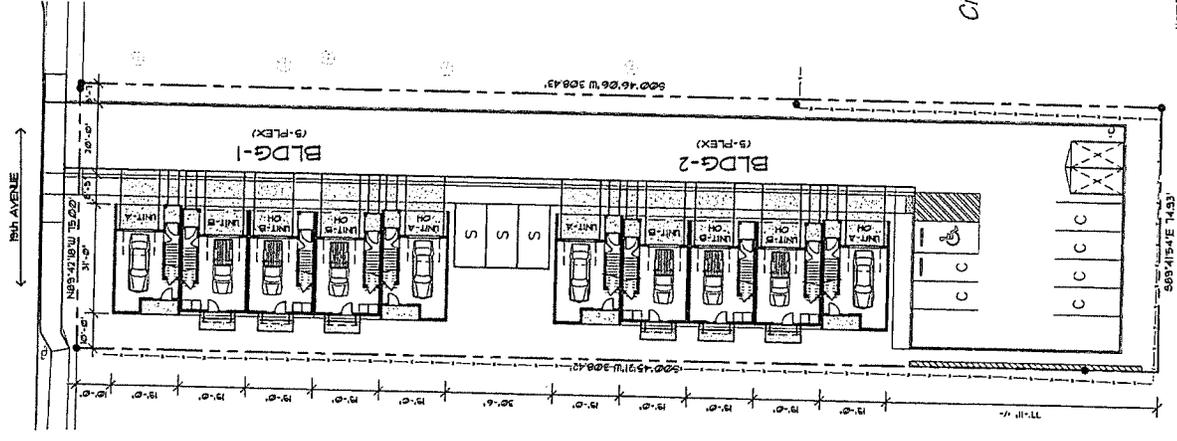
NEW APARTMENTS FOREST GROVE, OREGON



DRAWING INDEX:

ARCHITECTURAL

A1 COVER SHEET, SITE BUILDING KEY PLAN
A2 UNIT-A FLOOR PLANS
A3 UNIT-B FLOOR PLANS
A4 EXTERIOR ELEVATIONS



RECEIVED
JUN 11 2020
City of Forest Grove



NOTE:
SITE BUILDING KEY PLAN FOR REFERENCE
ONLY, FOR ACTUAL SITE CONDITIONS
AND INFORMATION SEE CITY DEPT.

SITE BUILDING KEY PLAN
SCALE: 1" = 20'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

PDR Designs
+ Concept + Feasibility
+ Planning Design, Building, & Consulting

NO.	DATE	DESCRIPTION

DATE: 3-24-2020
DRAWING TITLE: FOREST GROVE APARTMENTS
DESIGN BY: PDR
CHECKED BY: PDR

NEW TOWNHOMES:
FOREST GROVE APARTMENTS
14th AVE.

SHEET NO. AI
OF 4
PROJECT # 2
© 2020 PDR INC.

PRELIMINARY ONLY
NOT FOR CONSTRUCTION

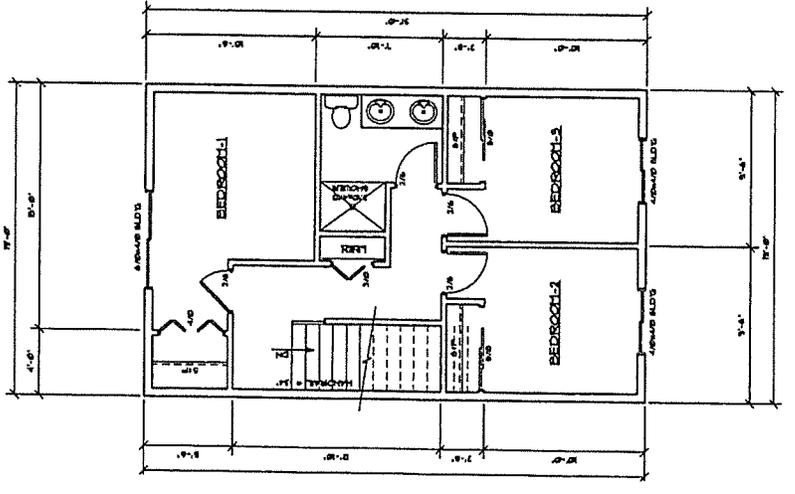
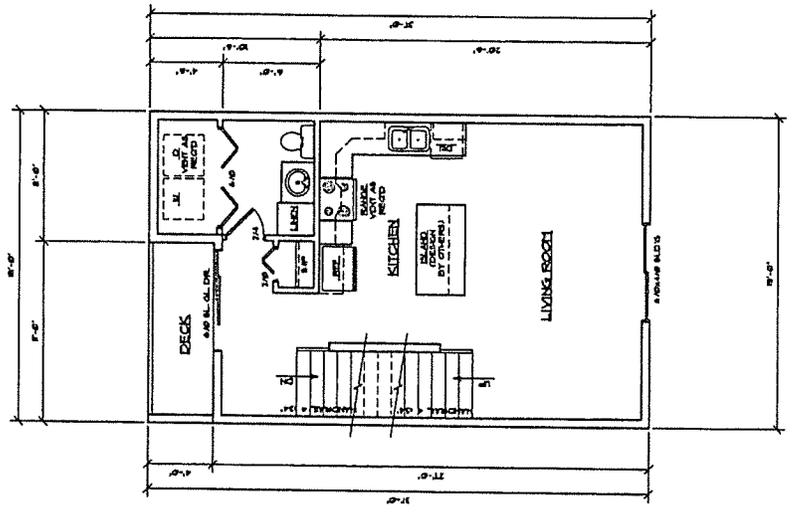
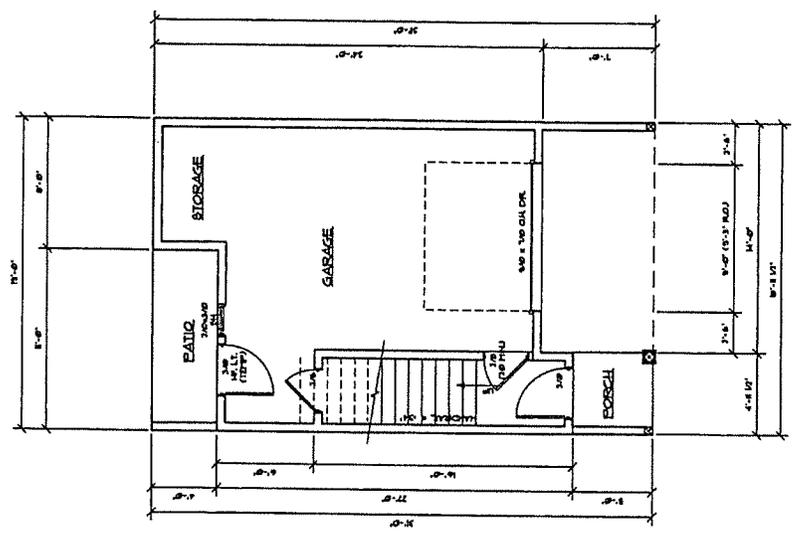
PPQR Designs
Residential Design, Drafting & Consulting
+ Commercial + Residential
10301 2516
Hillsdale, OR 97123
503-688-4115 (cell)
503-688-9015 (fax)

NO.	DATE	DESCRIPTION

DATE: 3-28-2020
DRAWN BY: JACQUELYNNE
CHECKED BY: FOR

NEW TOWNHOUSES,
19th AVE.
FOREST GROVE - OREGON
FOREST GROVE APARTMENTS

SHEET NO. A2 OF 4



DESCRIPTION	AREA
LOWER LEVEL	1,140
MAIN LEVEL	1,140
UPPER LEVEL	1,140
TOTAL	3,420

LOWER LEVEL FLOOR PLAN (UNIT-A)
SCALE: 1/4" = 1'-0"

MAIN LEVEL FLOOR PLAN (UNIT-A)
SCALE: 1/4" = 1'-0"

UPPER LEVEL FLOOR PLAN (UNIT-A)
SCALE: 1/4" = 1'-0"

PRELIMINARY ONLY
NOT FOR CONSTRUCTION

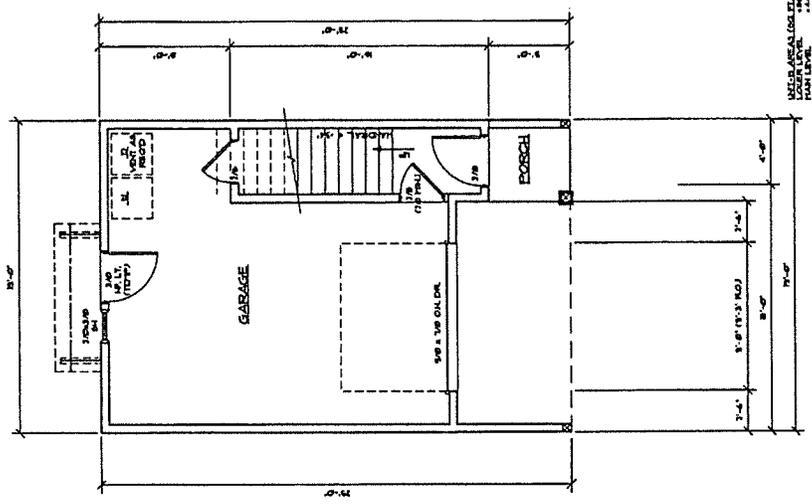
PDR Designs
Building Design, Drafting, & Consulting
& Commercial & Residential

NO BOX 2166
Hillsboro, OR 97123
503-684-8015 (cell)
503-684-1115 (fax)
pdr@pdrdesigns.com

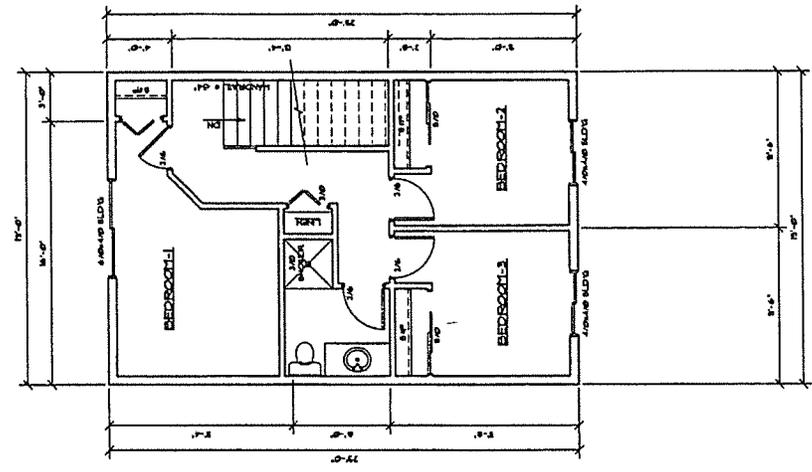
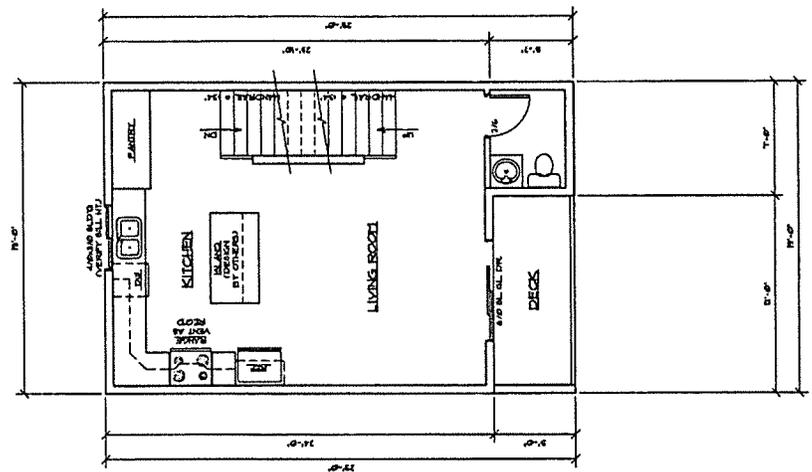
DATE	DESCRIPTION

NEW TOWNHOMES,
14th AVE,
FOREST GROVE - OREGON

SHEET NO. **A3**
OF 4
PROJECT # 20-11



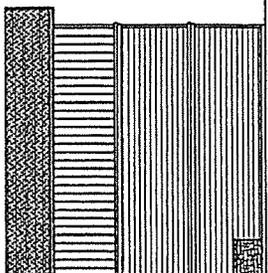
AREA	AREA (SQ. FT.)
LOWER LEVEL	134.0
UPPER LEVEL	134.0
TOTAL	268.0



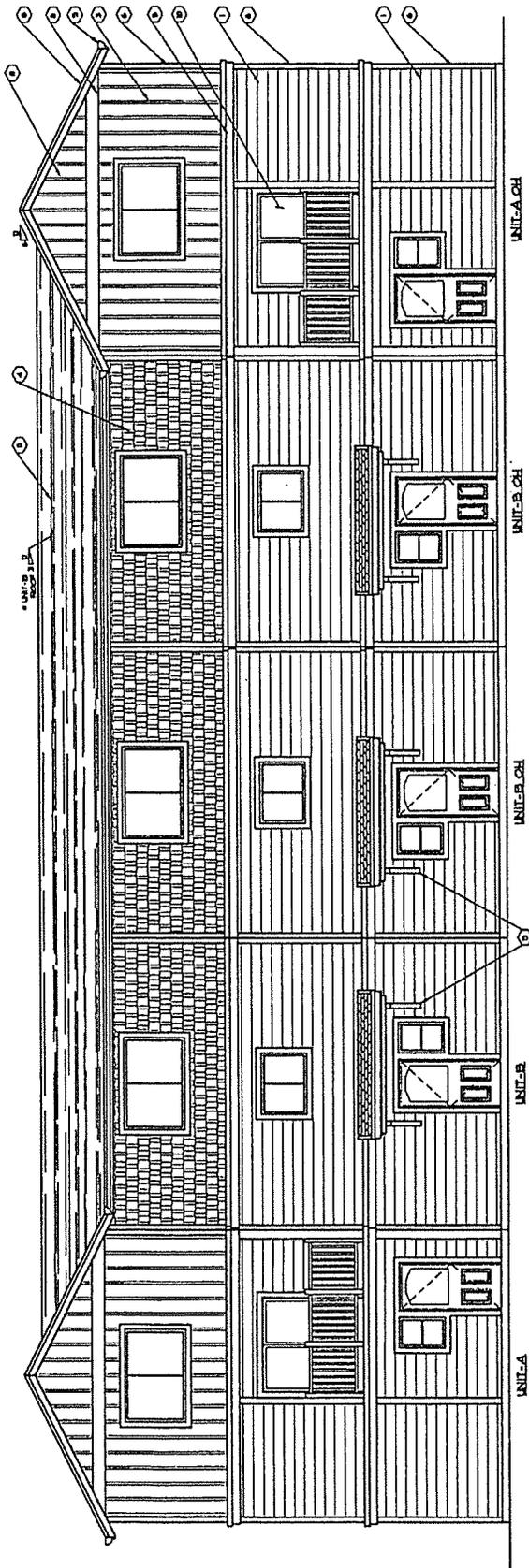
LOWER LEVEL FLOOR PLAN (UNIT-B)
SCALE: 1/4" = 1'-0"

MAIN LEVEL FLOOR PLAN (UNIT-B)
SCALE: 1/4" = 1'-0"

UPPER LEVEL FLOOR PLAN (UNIT-B)
SCALE: 1/4" = 1'-0"



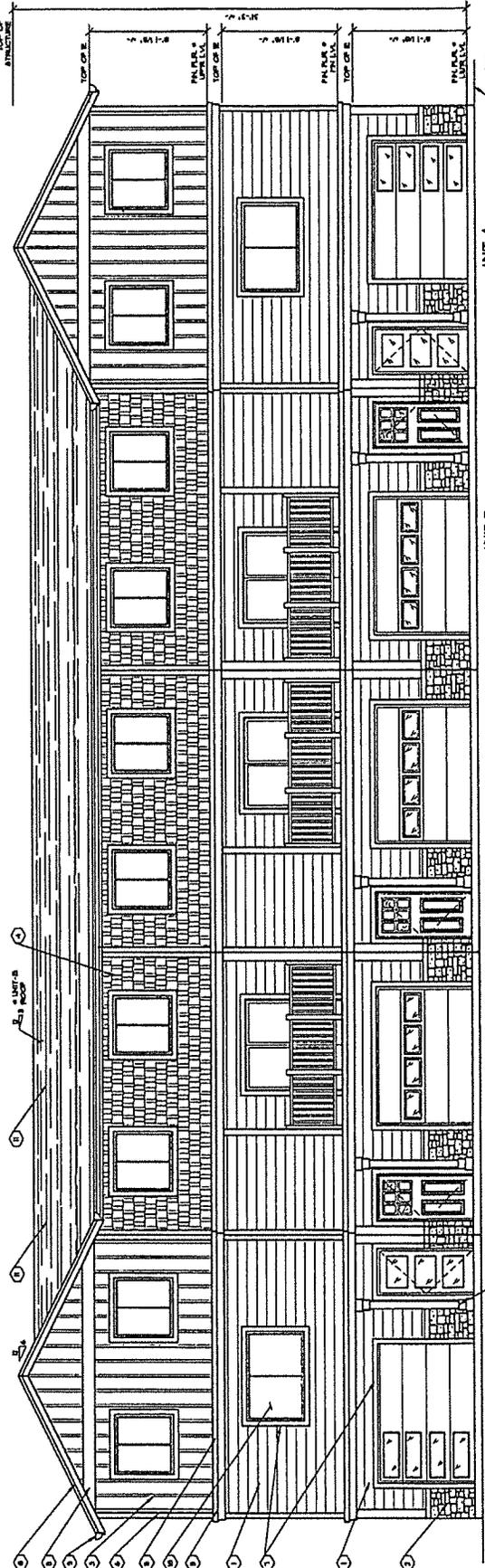
UNIT-A
IDE EXT. ELEVATION
SCALE: 1/4" = 1'-0"



FRONT EXTERIOR ELEVATION (BUILDINGS 1 & 2)

SCALE: 1/4" = 1'-0"

IT TYPE DESIGNATION:
UNIT A CASE LETTER -
UNIT B CASE LETTER -
UNIT C CASE LETTER -
UNIT D CASE LETTER -
UNIT E CASE LETTER -
UNIT F CASE LETTER -
UNIT G CASE LETTER -
UNIT H CASE LETTER -
UNIT I CASE LETTER -
UNIT J CASE LETTER -
UNIT K CASE LETTER -
UNIT L CASE LETTER -
UNIT M CASE LETTER -
UNIT N CASE LETTER -
UNIT O CASE LETTER -
UNIT P CASE LETTER -
UNIT Q CASE LETTER -
UNIT R CASE LETTER -
UNIT S CASE LETTER -
UNIT T CASE LETTER -
UNIT U CASE LETTER -
UNIT V CASE LETTER -
UNIT W CASE LETTER -
UNIT X CASE LETTER -
UNIT Y CASE LETTER -
UNIT Z CASE LETTER -



FRONT EXTERIOR ELEVATION (BUILDINGS 1 & 2)

EXTERIOR ELEVATION SCHEDULE:

1	LAP SIDING - 4" LAP
2	FRAGMENT MANSARD
3	SO. 1 BATT SIDING
4	SHAKE SIDING
5	BOARD SIDING
6	CORNER BOARD
7	TRIM BOARD - WINDOW AND DOORS
8	MANGIA BOARD
9	UNIT A LETTERS BY DOWN SPOT SYSTEM
10	LOWE'S VINYL BRICKS BY GRID ACCESS AS OCCURS
11	UNIT B LETTERS BY DOWN SPOT SYSTEM
12	UNIT C LETTERS BY DOWN SPOT SYSTEM
13	UNIT D LETTERS BY DOWN SPOT SYSTEM
14	UNIT E LETTERS BY DOWN SPOT SYSTEM
15	UNIT F LETTERS BY DOWN SPOT SYSTEM
16	UNIT G LETTERS BY DOWN SPOT SYSTEM
17	UNIT H LETTERS BY DOWN SPOT SYSTEM
18	UNIT I LETTERS BY DOWN SPOT SYSTEM
19	UNIT J LETTERS BY DOWN SPOT SYSTEM
20	UNIT K LETTERS BY DOWN SPOT SYSTEM
21	UNIT L LETTERS BY DOWN SPOT SYSTEM
22	UNIT M LETTERS BY DOWN SPOT SYSTEM
23	UNIT N LETTERS BY DOWN SPOT SYSTEM
24	UNIT O LETTERS BY DOWN SPOT SYSTEM
25	UNIT P LETTERS BY DOWN SPOT SYSTEM
26	UNIT Q LETTERS BY DOWN SPOT SYSTEM
27	UNIT R LETTERS BY DOWN SPOT SYSTEM
28	UNIT S LETTERS BY DOWN SPOT SYSTEM
29	UNIT T LETTERS BY DOWN SPOT SYSTEM
30	UNIT U LETTERS BY DOWN SPOT SYSTEM
31	UNIT V LETTERS BY DOWN SPOT SYSTEM
32	UNIT W LETTERS BY DOWN SPOT SYSTEM
33	UNIT X LETTERS BY DOWN SPOT SYSTEM
34	UNIT Y LETTERS BY DOWN SPOT SYSTEM
35	UNIT Z LETTERS BY DOWN SPOT SYSTEM

EXHIBIT B

POWER POINT



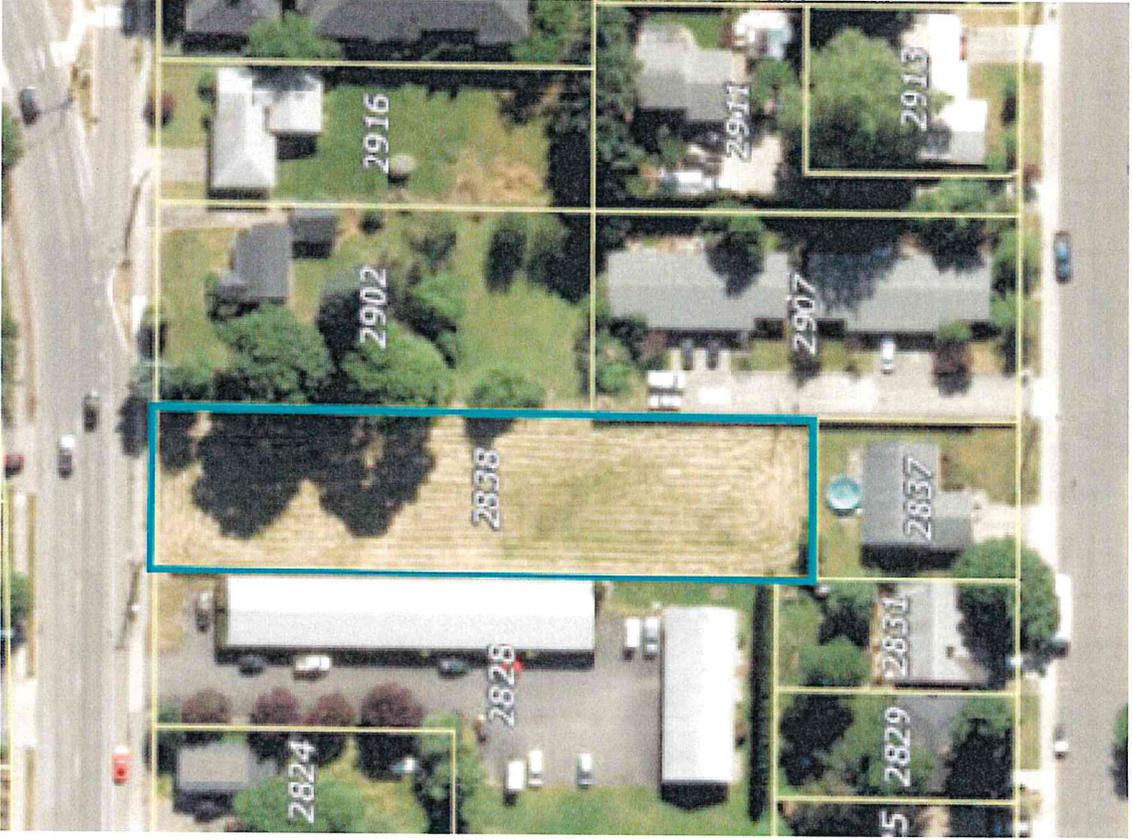
Eiscastle Apartments Site & Design Review

James Reitz, AICP
Senior Planner



07/20/20

Aerial View – Site & Vicinity



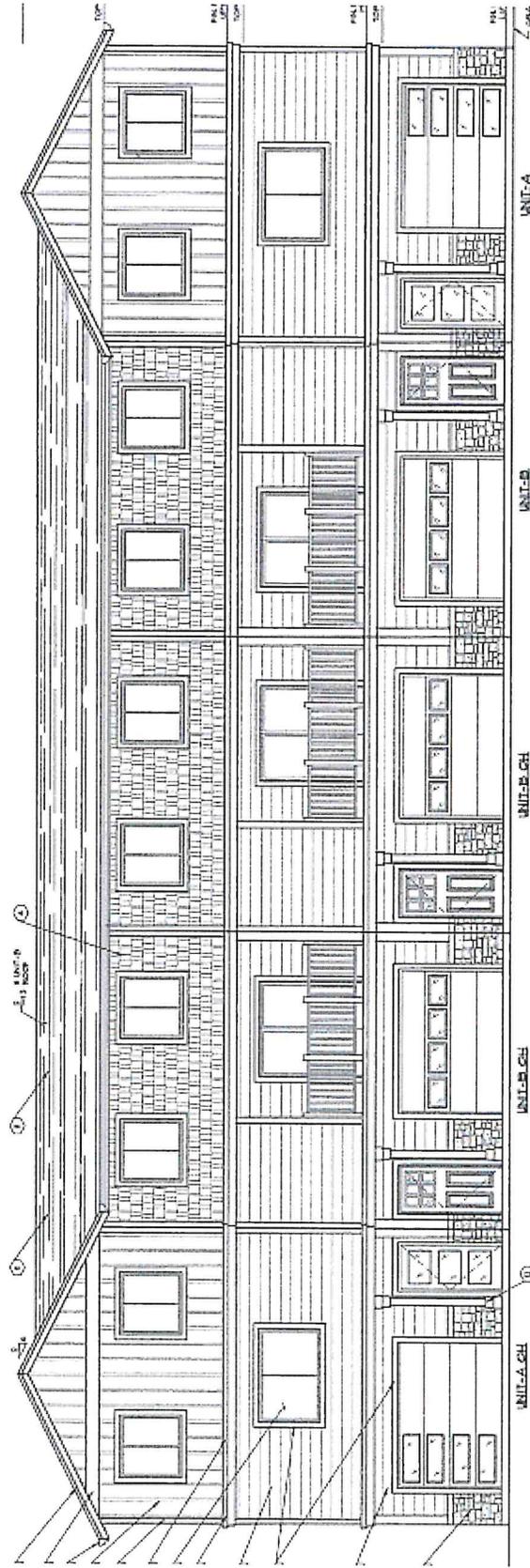
Oblique View



Street View

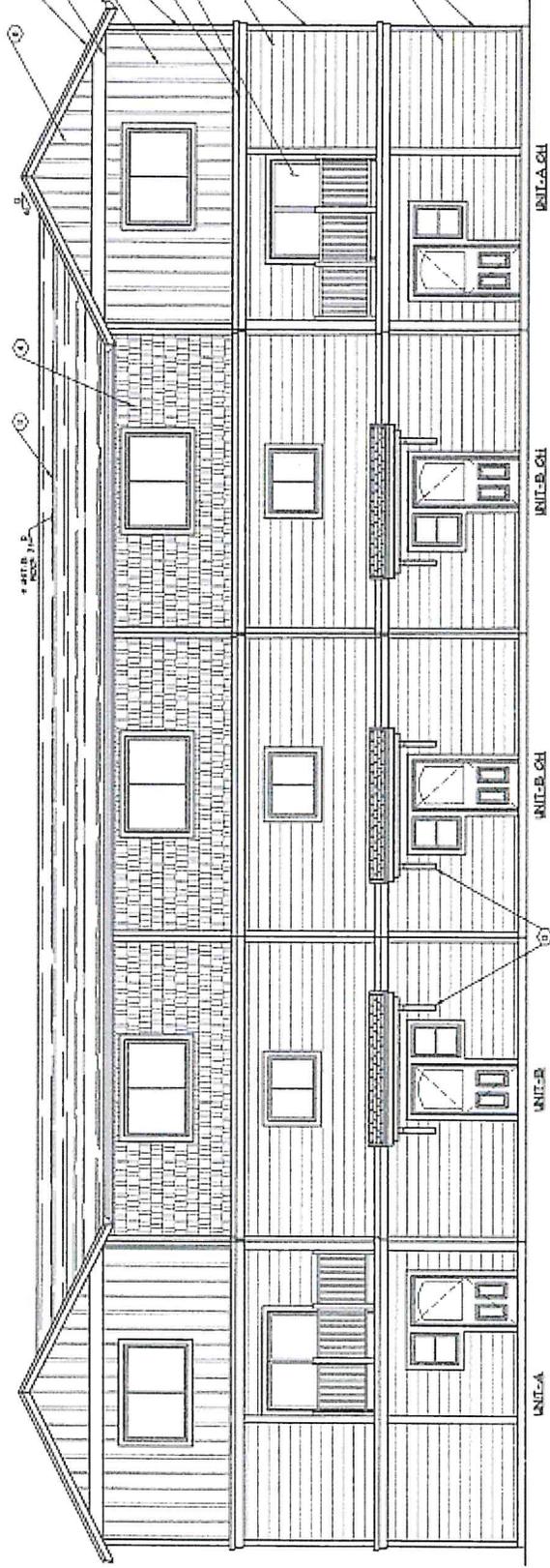


Front Building Elevation

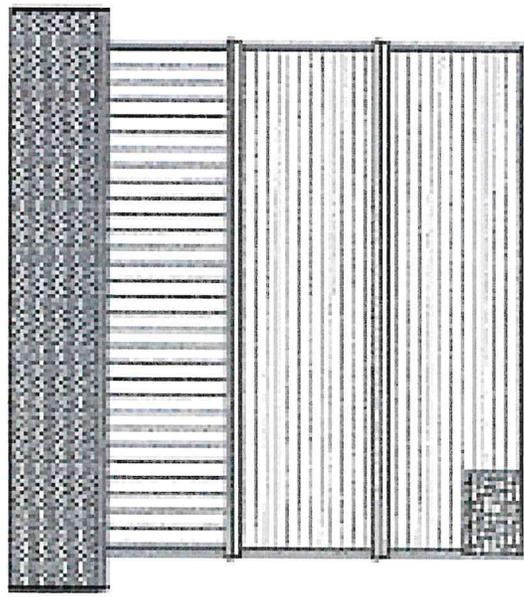


FRONT EXTERIOR ELEVATION (BUILDINGS 1 & 2)

Rear Building Elevation



Side Building Elevation



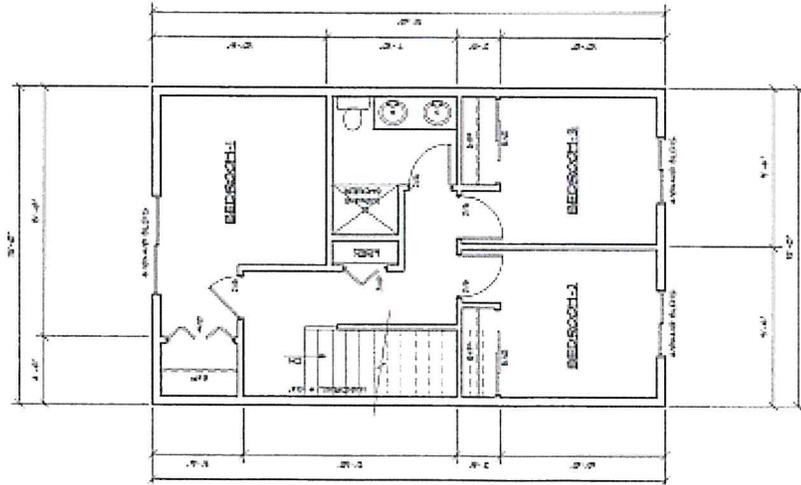
UNIT-A

SIDE EXT. ELEVATION

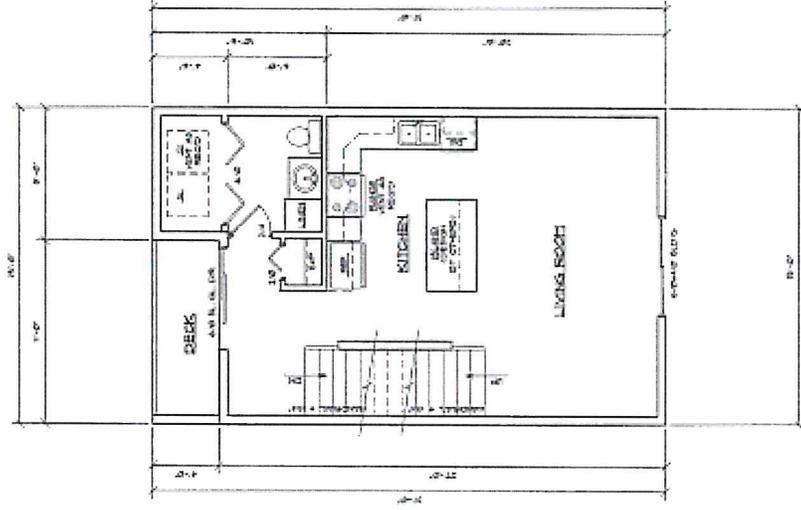
EXTERIOR ELEVATION SCHEDULE

- ① LAP SIDING - 8" LAP
- ② HORIZONTAL SHINGLES
- ③ SOL. 1x6 SBT SIDING
- ④ SLATE SIDING
- ⑤ BOARD SIDING
- ⑥ CORNER BOARD
- ⑦ TRIM BOARD * BRICKS AND DOORS
- ⑧ PAPER BOARD
- ⑨ METAL GUTTER w/ DOWN SPOUT SYSTEM
- ⑩ LOW E VENT. BRICKS w/ BRD. ACCENTS AS OCCURS
- ⑪ COMPOSITION SHINGLES (5 YEAR WARR. STYLE)
- ⑫ BRK. FRNT w/ TRIM BOARD * CORNER BOARD * CAPITAL
- ⑬ BRICKED ROCK BRICK

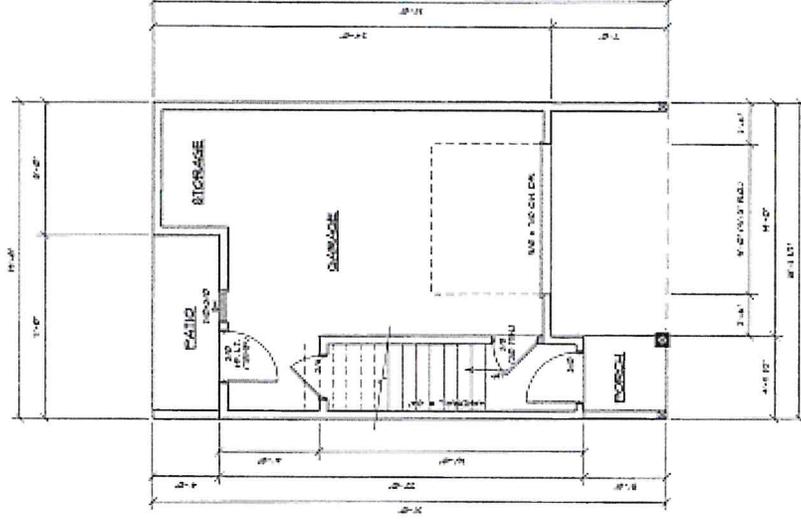
Floor Plans – Unit A



UPPER LEVEL FLOOR PLAN (UNIT-A)



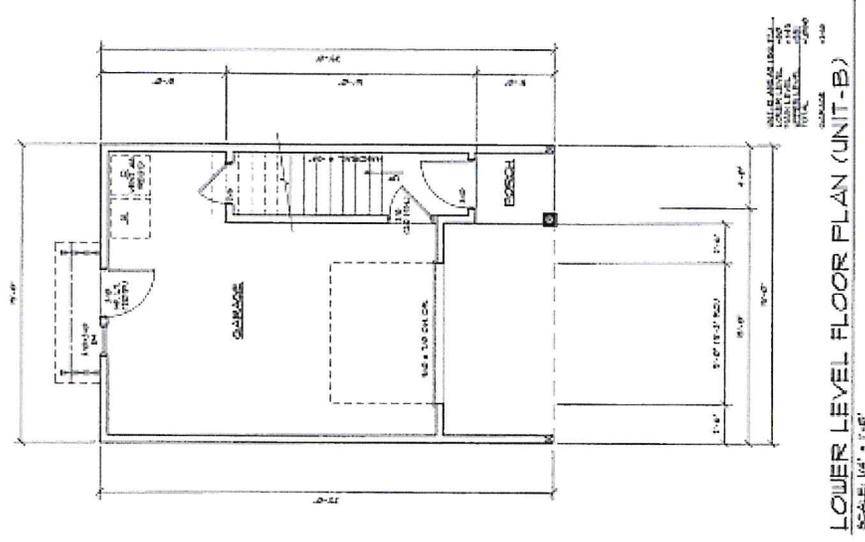
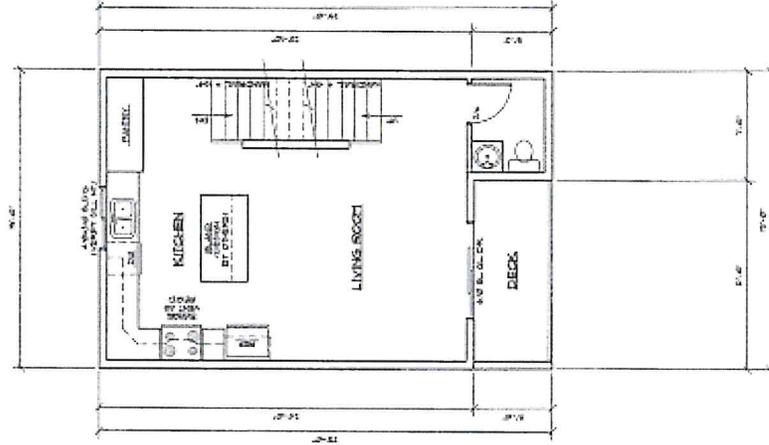
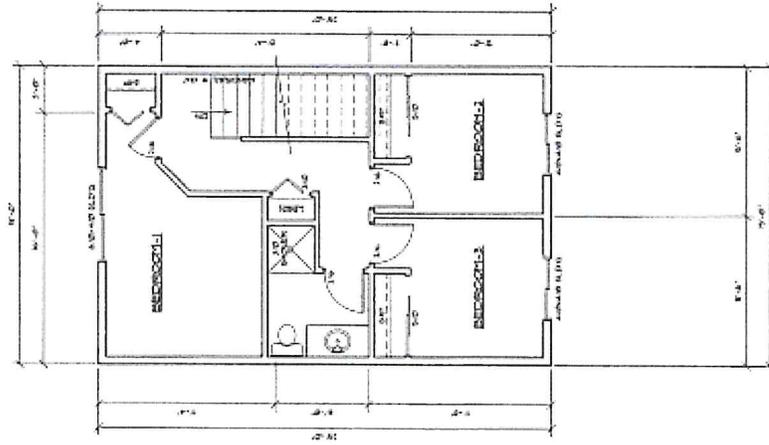
MAIN LEVEL FLOOR PLAN (UNIT-A)



LOWER LEVEL FLOOR PLAN (UNIT-A)

SCALE: 1/8" = 1'-0"
 DATE: 10/15/18
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]
 TOTAL

Floor Plans – Unit B



Recommendation

Staff recommends approval of the site plan and design review permit for the Eiscastle Apartments at 2838 19th Avenue with these conditions:

1. The applicant is bound to the project description and all representations made by the applicant during the application and decision-making proceeding.
2. The applicant shall comply with all applicable City building and development standards, including all dimensional standards and public works specifications.
3. All habitable rooms facing a car park or 19th Avenue shall have a window.

EXHIBIT C
DEVELOPMENT CODE STANDARDS
AND SPECIFICATIONS

EXHIBIT D
ENGINEERING DEPARTMENT
SPECIAL CONDITIONS

EXHIBIT E
LIGHT & POWER DEPARTMENT
CONDITIONS

EXHIBIT F
FIRE DEPARTMENT CONDITIONS

EXHIBIT C - DEVELOPMENT CODE STANDARDS AND SPECIFICATIONS

1. The applicant is bound to the project description and all representations made by the applicant during the application and decision-making proceeding.
2. All plans submitted to date are considered conceptual only. Detailed plans and specifications must be submitted that demonstrate compliance with standards and regulations adopted by the City of Forest Grove and/or all other agencies that have jurisdiction.
3. Submit a geo-tech report of the site conditions. All foundations must incorporate geo-tech requirements.
4. A tree protection plan for off-site trees near common property lines shall be submitted and shall include the precise location and specifications of protective fencing. No compaction equipment or material storage shall be permitted within tree protection areas. This plan shall be approved by the Community Development Director prior to building permit issuance (DC §17.5.115 *Tree Protection Plan and Protection Requirements*).
5. Submit a landscape plan demonstrating compliance with DC §17.8.415 *Landscaping General Standards* and DC §17.8.420(B) *Landscaping Required in the Community Commercial Zone*. The landscape plan shall include a buffer along the south property line in compliance with DC Table 8-3(D)(3), and shall include a 6-foot-tall wall and a landscape area at least 10 feet wide.
6. All utility connections shall be underground (DC §17.8.645(A) *Underground Utilities*).
7. A centralized box unit mailbox is required, to be located in a well-lit area. The location and specifications should be confirmed with the Forest Grove Post Office prior to installation. If located in the public way, the location shall comply with FGC §90.01 et. seq. *Permitted Uses in the Public Way*. Installation shall occur prior to occupancy of the first unit DC §17.8.005(A).
8. The recycling / waste storage facility shall be roofed (DC §17.7.205(C) *Design Standards*).
9. All utility connections shall be underground (DC §17.8.645(A) *Underground Utilities*).
10. All lighting shall comply with the provisions of DC §17.8.755(C) *Pedestrian Lighting Standards* and §17.8.755(D) *Lighting Standards for Multi-Unit Development*.

EXHIBIT D - ENGINEERING DEPARTMENT SPECIAL CONDITIONS

11. Construct a 6-foot-wide curb-tight sidewalk along 19th Avenue, keyed or dowelled into the curb to prevent settlement (FGC §151.001 et. seq.)
12. The applicant shall submit a storm water drainage plan to satisfy the provisions of the City's *Storm Water Master Plan* and *Clean Water Services' Design and Construction Standards for Sanitary Sewer and Surface Water Management*. This plan shall be reviewed and approved by the City's Engineering Department prior to building permit approval (DC §17.8.005 and §17.8.635).
13. The applicant shall provide to the City of Forest Grove a signed *Private Water Quality Facility Maintenance Agreement* for the private water quality facility (DC §17.8.005 and §17.8.635).
14. The applicant shall submit a sanitary sewer plan to satisfy the provisions of the City's *Sanitary Master Plan*. This plan shall be reviewed and approved by the City's Engineering Department prior to building permit approval (DC §17.8.005 and §17.8.625).

EXHIBIT E - LIGHT AND POWER DEPARTMENT CONDITIONS

15. Provide a 10-foot-wide public utility easement along 19th Avenue for the installation of electrical facilities (DC §17.8.615(A) *Easements*).
16. Provide a 5-foot easement along the West property line transitioning to a 10-foot easement between buildings. Easement locations may need to change depending on the final electrical design.
17. Submit a CAD file of the site plan showing all wet utilities.
18. Meter equipment and locations shall be confirmed with FGL&P prior to the start of the electrical design.
19. All lighting within the complex shall be customer-owned and designed by the developer.
20. The developer shall be responsible for providing and installing all vault and conduits.
21. A minimum distance of 8 feet shall be maintained between electrical transformers and any combustible structure, overhang, window or door. Consult FGL&P *Electric Service Requirements & Guidelines* §1.09 Clearances from Utility Equipment for additional clearances and information and also National Electric Safety Code (NESC) Rule 012C.

EXHIBIT F - FIRE DEPARTMENT CONDITIONS

22. Provide a fire hydrant placed near the driveway entrance, per FGC §153.07 Appendix C. The hydrant shall have two 2-1/2" ports with a steamer port adapted to a 4" Storz connection (FGC §153.07).
23. Provide one FDC for both buildings (OFC §912.2) That FDC shall be located remotely on 19th Avenue in the northwest corner of the property, with a 4" Storz adaptor angled towards the ground with a 30° to 45° elbow, accessible from the sidewalk. The Storz adaptor shall be located between 24 and 36 inches above standing grade.
24. Provide a Knox Box, keyed to Forest Grove Fire & Rescue, located on or near the Riser/Fire Alarm door for each building (OFC §506.1.2)
25. Provide "No Parking – Fire Lane" signs on both sides of the fire lane if it is 26 feet wide or less (OFC §503.3 & §D103.6.1).
26. Install an identification sign at the driveway. This sign shall include the address of the site. The address digits shall be at least six inches tall (FGC §150.098).
27. Individual unit numbers shall be at least 4 inches in height and contrast with the background (FGC §150.098).
28. The drive approach shall maintain a minimum 28-foot inside radius and 48-foot outside radius, with an angle of approach and departure not exceeding 8%.